

DATE: May 3, 2024

TO: ALL BIDDERS OF RECORD

PROJECT NAME: Baseball & Softball Turf In-fields for: Heritage Point Regional Park

PROJECT NUMBER: 23-023

FROM: KRH Architects
855 Abutment Road
Suite 4
Dalton, GA 30721

PRIME BIDDERS ACKNOWLEDGE THE RECEIPT OF THIS ADDENDUM BY INSERTING THE NUMBER AND DATE IN THE APPROPRIATE POSITION ON THE PROPOSAL FORM. FAILURE TO DO SO MAY SUBJECT THE BIDDER TO DISQUALIFICATION. THIS ADDENDUM IS A PART OF THE CONTRACT DOCUMENTS. IT MODIFIES THEM AS FOLLOWS:

Item No. 1**Prebid Sign In Sheet**

Please see the attached Sign-in Sheet from the Prebid Meeting.

Item No. 2**Answers to Contractor's Questions**

Please see the attached Answers to Contractor's Questions.

Item No. 3**Section 00020**

Revise "Schedule" Paragraph to read:

All ten fields shall be available to the contractor starting September 1, 2024. Substantial completion of the entire project shall be achieved no later than February 28, 2025.

Item No. 4**Section 00080**

Replace this section in its entirety. See attached.

Item No. 5**Section 02900**

Replace this section in its entirety. See attached. Note: A minimum thickness for the sod has been added.

Item No. 6

Drawings

Replace these sheets in their entirety.

C1, C1.1, C2, C2.1, C4.3, C4.4, C4.5, C4.5, C4.6, C4.7, C5, C5.1, C5.2

END OF ADDENDUM



PRE-PROPOSAL MEETING

4/30/2024

BASEBALL & SOFTBALL TURF IN-FIELDS FOR: HERITAGE POINT REGIONAL PARK

NAME	REPRESENTATIVE/COMPANY	EMAIL ADDRESS
Bryan Roberts	NWGP	broberts@NWGPINC.com
Stacey Rymer	Geo Surfaces	s.rymer@challengerturf.com
Jimmy Rogers	Act Global	crobbs@actglobal.com
Jake Storm	Sports Fields inc	jstorm@fields-inc.com
Pete Fox	ASG	pfox@asgsportsfields.com
MARK HINDMAN	A.S.G.	mhindman@asgsportsfields.com
Darryl Dulong	Great American Green	darryl@greatamericangreen.com
Alex Dulong	Great American Green	alex@greatamericangreen.com
Michael Hendricks	DPRI	mhendricks@daltonga.gov
Caitlin Sharpe	City of Dalton	CSharpe@daltonga.gov
Shane Ellis	Blue Level Services	shane@bluelevelservices.com

BASEBALL & SOFTBALL TURF INFIELDS FOR: HERITAGE POINT REGIONAL PARK_
Answers to Contractor's Questions - Addendum #1

1. Is there existing irrigation in these fields? **Answer: Yes.**
2. If so, who is responsible for reconfiguring irrigation? **Answer: The existing irrigation system will be modified by the Owner.**
3. If bidder(s) are responsible for irrigation reconfiguration will City consider requiring all bidders to carry a minimum allowance for this scope item absent any plans/details on new irrigation configuration? **Answer: N/A**
4. **Sheet C2:** Construction Legend - Please provide MINIMUM specifications for portable mounds. There are multiple manufacturers and models of portable mounds that vary greatly in their price, performance, and quality. **Answer: See revised notes on C2. New pitching mounds are not required within the scope of this project.**
5. **Sheet C2:** Please clarify the number of portable mounds to be included in bid. **Answer: N/A**
6. **Sheet C2:** Since no plans are provided for Field 3 West, 5 West, 7 East, 10 East are we to assume that these 4 fields are typical to the fields shown? **Answer: Yes. These diagrams are noted to be typical for all 10 fields.**
7. **Sheet C3.2:** Field 1-West – Collector pipe at infield arc is called out as 8”, all other collector pipe is called out as 12”. Please clarify desired pipe size this instance. **Answer: This is correct. This short span of pipe is 8” due to lack of coverage in this area.**
8. **Sheet C3.2(others):** New GDOT 1019A junction boxes – existing structures appear to be formed on site and their tie-in to existing storm water cannot be verified. Can you provide some additional guidance/information on how bidders are to cost this since it is the primary exit point for all drainage. **Answer: This is correct. In these areas, use GDOT std 9031U. See also notes on Addenda 1 drawings related to this.**
9. **Sheet C4.3:** There are 10 Inlet Sediment Traps (Sd2-B) shown on Erosion Control plan that are outside of the outfield fence and across the walking trail. Most of these inlets are >200 LF+/- from any of the site work being performed – please confirm that all bidders are required to provide these erosion control measures as shown. **Answer: Yes. These are to be provided.**
10. **Sheet C4.4:** There are 10 Inlet Sediment Traps (Sd2-B) shown on Erosion Control plan that are outside of the outfield fence and across the walking trail. Most of these inlets are >200 LF+/- from any of the site work being performed – please confirm that all bidders are required to provide these erosion control measures as shown. **Answer: Yes, these are to be provided.**

11. **Sheet C4.5:** There are multiple call outs for Ds4 (sodded grass) that are far outside any of the limits of disturbance. Some of the Ds4 call outs extend 40+ feet beyond the new infield arc which is well past any limits of disturbance, and there are multiple call outs outside of the outfield fence. Could you please provide some clarification on these Ds4 call outs that do not fall within the limits of disturbance as shown. **Answer: Any area of disturbance shall receive DS4. If these areas are not disturbed then no new sod is required. Note: The arc just outside of the limits for new artificial turf shall be regraded and receive DS4 in addition to any other areas of disturbance.**
12. **Sheet C4.6:** There are multiple call outs for Ds4 (sodded grass) that are far outside any of the limits of disturbance. Some of the Ds4 call outs extend 40+ feet beyond the new infield arc which is well past any limits of disturbance, and there are multiple call outs outside of the outfield fence. Could you please provide some clarification on these Ds4 call outs that do not fall within the limits of disturbance as shown. **Answer: See answer to question 11.**
13. **Sheet C5.1:** Detail (TG) Turf Natural Grass Junction
- There is no way to make a fixed attachment for the synthetic turf – as drawn, it's laying loose on top of the stone base.
 - The indicated pad serves no purpose on top of curb since it is buried under 6" of stone.
 - Is the City open to DELETE the pad specification/requirement as it represents a significant material and labor cost with minimal improvement of playability or safety?
Answer: See revised detail on Addenda No.1.
14. Is the entire infield area, including the foul territories to be brown / terracotta in color, or is the intent to be brown / terracotta base paths and green inner area and foul territories? **Answer: The entire playing surface shall be one color with the exception of game lines and other markings.**
15. Does the Owner have a place to receive the excess soil haul-off. **Answer: No. The contractor is responsible for removal and off-site legal disposal of all excess materials.**

SECTION: 00080 PROPOSAL FORM

EXHIBIT / TAB “I”

NAME OF PROJECT: BASEBALL & SOFTBALL TURF INFIELDS FOR: HERITAGE POINT REGIONAL PARK

NAME OF CITY: THE CITY OF DALTON, GA

NAME OF PROPOSED CONTRACTOR:

(The “Contractor”)

THE CITY OF DALTON (the “City”), pursuant to the provisions of O.C.G.A. § 36-91-1, *et. seq.*, herein seeks competitive Proposals from contractors for the construction of: “Baseball & Softball Turf Infields for: Heritage Point Regional Park”, located at 1275 Cross Plains Trail Dalton GA 30721 (the “Project”).

This Proposal is submitted in response to the City’s Request for Proposals dated 4/12/2024.

This Proposal is for the full and complete construction of the Project in conformity with all requirements of the Contract Documents. The submission of this Proposal constitutes a representation by the Contractor that it has carefully studied and examined all of the Contract Documents furnished by KRH Architects Inc. (the “Architect”) and such other information as may have been furnished by the City or the Architect including Addendum/Addenda No._____. Contractor further represents that it has no knowledge of any ambiguities, errors, omissions or other inaccuracies in any of the Contract Documents or other material furnished by the City or Architect in connection with the Project.

The Contractor submits herewith its duly executed affidavit in accordance with the applicable Federal work authorization program. Contractor acknowledges that upon execution of any contract with the City, said affidavit shall be deemed a public record to the extent provided by Georgia law.

The Contractor acknowledges that the Contract Documents specifically provide for the assessment of liquidated damages against Contractor in the event of unexcused delay in achieving Substantial Completion or Final Completion of any phase of the work. The liquidated damages to be assessed in the event of unexcused delay in achieving Substantial Completion are \$ 500.00 per calendar day. The liquidated damages to assessed in the event of unexecuted delay in achieving Final Completion of the Work are \$ 200.00 per calendar day. The terms and conditions of liquidated

damages provisions set for in the Contract Documents are herein incorporated by reference. The Contractor further acknowledges that the Contract Documents provide no incentive provisions for early Completion of the Work.

Attached hereto, and incorporated herein as part of this Proposal, the Contractor submits its qualifications and proposed Synthetic Turf System. The contractor acknowledges that the City may rely upon the truthfulness and accuracy of the responses set forth therein. In addition, Contractor has submitted herewith as part of this Proposal such documentation and information as Contractor deems appropriate to establish that it is a responsible and responsive Contractor and that its Proposal is the most advantageous to the City, taking into consideration the specific evaluation factors, listed in their order of relative importance, as set forth in the above-referenced Request for Proposals. Contractor acknowledges that the City may rely upon the truthfulness and accuracy of such documentation and information.

The Contractor proposes and agrees to commence actual construction (i.e, physical work) on site with adequate management, labor, materials and equipment within ten (10) days after receipt of Notice to Proceed and prosecute the Work diligently and faithfully to completion within the required Contract Time. Prior to commencing such Work, and prior to the issuance of the Notice to Proceed, Contractor shall furnish to the City duly executed Payment and Performance Bonds complying with all requirements of the Contract Documents along with Certificates of Insurance demonstrating that all required coverages are in place.

Contractor submits herewith its executed Bid Bond in accordance with the requirements of the City as set forth in the Instruction to Proposers.

Contractor herein acknowledges that this Proposal shall constitute an offer by Contractor to contract with the City for construction of the Project in conformity with all requirements of the Contract Documents for the lump sum contract price as set forth hereinabove. Said offer by Contractor is irrevocable and subject to acceptance by the City until the expiration of sixty (60) days following the date set forth in the Request for Proposals for receipt of Proposals by the City.

Continued

A. Lump Sum Proposal

The Contractor proposes to fully and completely construct the Project in conformity with all requirements of the Contract Documents and furnish all necessary labor, material and equipment for such construction, and, furthermore, to fully, completely, and strictly perform all obligations of the Contractor as set forth in the Contract Documents, for the following lump sum price.

_____dollars.
(\$_____).

Included in the lump sum above is an Owner’s Contingency of \$150,000 for additional work as directed by the Owner and Architect.

B. Subcontractors

- 1. List any major subcontractors for work not performed by the prime contractor.
 - a. Site Work and Grading_____
 - b. Other (please specify)_____
 - c. Other (please specify)_____

C. Alternates

- 1. Description: Include an alternate price to provide an annual deep cleaning maintenance program for each field as described in section 00020.
Add / Deduct (circle one) \$ _____
- 2. Description: Include an alternate price to install additional storm drainage as shown as ALT2 on sheets C1 & C1.1

Optional Contractor’s Alternates - (attached a separate sheet if necessary)

- 3. Description:

Add / Deduct (circle one) \$ _____

4. Description:

Add / Deduct (circle one) \$ _____

5. Description:

Add / Deduct (circle one) \$ _____

If there are any questions concerning this proposal, please contact:

Name _____

Email _____

Phone _____

CONTRACTOR: _____

By: _____

Title: _____

Sworn and subscribed to before me this
_____ day of _____, 2024.

NOTARY PUBLIC

Commission Expiration:

SECTION 02900 - LAWNS, GRASSING, & LANDSCAPING

PART 1 - GENERAL

1.01 PERMANENT GRASSING REQUIREMENTS:

THE CONTRACTOR SHALL ESTABLISH PERMANENT GRASSING ON ALL DISTURBED AREAS PRIOR TO FINAL RELEASE WHETHER SHOWN ON THE PLANS OR NOT.

1.02 SECTION INCLUDES

- A. Lawns, grassing, and landscaping materials and planting instructions.

1.03 RELATED DOCUMENTS/SECTIONS

- A. Contract documents and drawings, construction details as shown on the plans, geotechnical engineering report. Refer to appropriate related sections as applicable.

1.04 WARRANTIES

- A. Warranty commencement date will be date of final approval and release after all grassing and landscaping is complete, established and accepted by Owner or Architect.
- B. Materials:
 - 1. Sod and grasses:
One year following Owner acceptance.
 - 2. Evergreen shrubs, bushes, & trees:
One year following Owner acceptance.
 - 3. Deciduous Plants and trees:
90 days following Spring breakout of growth.
- C. Replacement policies:
 - 1. Materials which have either died or failed to show satisfactory vigorous growth shall be removed and replaced with equal as-specified materials.
 - 2. Warranty periods for replaced materials shall commence on the Owner-acceptance dates for these materials, and warranty criteria shall be the same as outlined above.

3. If replaced materials become unsatisfactory within their new warranty periods, the Owner reserves the right to require continued replacements or obtain a credit from the Contractor for the value of the unsatisfactory materials.

1.05 REFERENCED STANDARDS

- A. Standardized Plant Names, latest edition, by the American Joint Committee on Horticultural Nomenclature.
- B. American Standard for Nursery Stock, latest edition, by the American Association of Nurserymen.

When standards or specifications are indicated herein by reference, the referenced portion shall apply to the most recent edition of the publication and shall have the same force and effect as if they were included herein in their entirety.

1.06 QUALITY CONTROL

- A. Only tree or plant material grown in a recognized nursery in accordance with good horticultural practice will be accepted. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sun-scald, injuries, abrasions or disfigurement.
- B. All materials and construction required for completion of the work under this section are subject to the approval of the Owner/Architect. The Owner/Architect shall have the right to reject any and all materials and construction which, in their own opinion, does not meet the requirements of the Contract Documents. The Contractor shall remove all rejected work or material from the job site and replace promptly according to the Contract Documents at no expense to the Owner.

1.07 DESCRIPTION OF WORK

- A. When any construction, materials, or specifications for the same or similar item(s) are shown in more than one place in the construction documents, plans, or specifications, the more stringent requirement shall apply as determined by the Engineer.

PART 2 - PRODUCTS

2.01 GENERAL

- A. PERMANENT GRASSING: (Sodded, seeded, or sprigged):
VERIFY AREAS TO BE SODDED WITH OWNER PRIOR TO CONSTRUCTION.

Seed: Common Bermuda (Cyanodon dactylon), 98% purity, 85% germination, with State Dept. of Agriculture tag, or as specified by Owner.

Sod and sprigs: Hybrid Bermuda, Tifway 419, or as specified by Owner.

ALL SOD SHALL HAVE MINIMUM 1.0 INCHES SOIL / ROOT ZONE CERTIFIED BY SUPPLIER. PROVIDE DOCUMENTATION TO OWNER.

- B. TEMPORARY GRASSING:
As shown on plans, or Kentucky 31 Fescue and/or winter rye, allowed for Contractor's convenience to control erosion or other purposes. Temporary grass must be tilled under and soil prepared for permanent grassing per specifications.
- C. LANDSCAPING MATERIALS:
Plants: True to species and variety, complying to ANSI Z60.1 "Standard for Nursery Stock".
Trees: Of height and caliper listed with branching configuration conforming to ANSI Z60.1 for type and species required. Provide only single stem trees.
Ground cover: Provide plants well established and well rooted in removable containers with not less than the minimum number and length of runners conforming to ANSI Z60.1 for the pot or container size listed.
- D. FERTILIZER:
Commercial slow release type, 5% nitrogen, 10% phosphoric acid, 15% potash.
- E. LIME: Ground dolomitic limestone.
- F. WATER:
Contractor shall furnish all water as required for establishment and maintenance of all grassing (sod or seed), trees, shrubs, plants, and other landscape materials until final approval and acceptance by

Owner and Architect. Contractor is responsible for water source, transportation, distribution, and necessary equipment.

- G. MULCH:
Pine bark mini-nuggets or shredded hardwood mulch (color per Architect).
- H. SOD:
Remove all netting, backing, or other packing or shipping attachments from Sod prior to installation.

PART 3 - EXECUTION

3.01 GENERAL

- A. Contractor is solely and fully responsible for compliance with recommended and seasonal planting dates for all seeding, grassing, sod, trees and shrubs, and all other landscape materials to facilitate construction schedule and stabilize disturbed areas. Any planting or installation of any landscaping or grassing materials outside recommended planting dates will require additional warranties and delay final release and payment for all affected material and labor cost(s). Contractor shall review all drawings and specifications, and locate and protect from damage any and all existing or proposed utilities or site improvements prior to landscape excavation or work. Contractor shall restore any damaged improvements or utilities at no expense to Owner.
- B. SOIL SAMPLES: Contractor shall take several soil samples from each area where landscaping will occur. Samples shall be taken to represent each different soil or site condition encountered in the required landscaping areas. Soil samples shall be sent for analysis to the Agricultural Extension Service (AES). Provide the A/E with the written report of AES recommendations for soil amendments and fertilizers to be used on the site. All recommendations from the AES will become minimum requirements. No adjustment in Contract Time or Contract Sum will be allowed for soil sampling and analysis.
- C. TOP SOIL: Provide topsoil which is fertile, friable, natural loam surface soil, free of subsoil, clay lumps, brush, weeds and other debris, free of roots, stumps, stones larger than 1/2" diameter in any dimension, and any other extraneous or toxic material or debris harmful to plant growth. The Contractor is solely responsible for obtaining and

distributing all required topsoil material for grassing, planting, and landscaping the project, regardless of the source. Minimum 5 inch depth of topsoil required for all grassed areas, minimum 9 inch depth of topsoil required for shrubbery, flower, or planting beds or areas.

D. FINISH GRADE REQUIREMENTS:

a. Within 0.10 feet of required grade provided positive drainage is maintained. No ponding or depressed areas allowed.

b. Smooth and uniform to accomplish mowing of grass to uniform heights without scalping. Remove all stones 1/2" and larger in diameter prior to grassing operations.

c. Sloped at minimum 1.0% grade for proper drainage away from buildings and into storm sewer system.

d. Sod shall be set in place with snug and staggered joints, and rolled to remove high or low or undulating areas.

e. Contractor shall coordinate all landscaping to ensure that finished grades are provided as shown on plans, particularly along the interface with the building perimeter to ensure positive drainage away from building(s), structures, and all other improvements which may be damaged by water or runoff. Maintain minimum 6 inches below finish floor elevation (FFE) and top of finished grass, landscape, or mulch along entire building or structure perimeter. Verify FFE along entire building or structure perimeter PRIOR TO CONSTRUCTION. Adjust subgrade, topsoil, and mulch as required to allow for grass and landscape material thickness.

E. PERMANENT GRASSING:

The Contractor is responsible for establishing final permanent grassing on all disturbed areas in accordance with the Contract Documents whether shown on the plans or not. All temporary grassing which does not comply with the required permanent grassing materials and were installed for erosion control measures or the convenience of the Contractor, shall be fully tilled under, then the soil shall be prepared for permanent grassing in accordance with Contract Documents.

F. ACCEPTABLE UNIFORM STAND OF GRASS:

An acceptable uniform stand of grass is defined as:

Establishment of the specified grass, properly watered, maintained, mowed, and free of weeds, with the grass having a

minimum coverage of 97% over the required areas and only scattered bare spots, none of which is larger than one (1) square foot in area. Coverage is defined as mature healthy grass with established root systems, thickness and density per normal species nursery standards for grass in good condition.

G. MOWING SCHEDULE:

A. All grass clippings shall be removed from property with EACH mowing.

B. When grass reaches a height of three (3) inches, mow to 2/3 height, leaving two (2) inches remaining.

C. Maintain a grass height between two (2) and two and one-half (2.5) inches until final acceptance.

D. Perform mowing approximately weekly, or as required to fulfill the criteria in this section, for a total of not less than four (4) mowings prior to final acceptance and release. Establish grass in timely manner to meet this requirement prior to final release and acceptance.

H. GRASS MAINTENANCE & ACCEPTANCE:

Contractor shall maintain grass until final release and acceptance but for not less than 60 calendar days after seeding/sodding or planting. Maintenance shall include watering per nursery/supplier standards, additional watering for initial period after planting per accepted nursery standards, and all other recommended measures to ensure root system establishment and healthy grass. Full grass coverage shall be required within 60 calendar days of planting. The Contractor is responsible for establishment of permanent grassing and landscaping, including mowing, watering, and maintenance requirements, prior to final release and acceptance.

I. TREE, SHRUB, LANDSCAPING MAINTENANCE & ACCEPTANCE:

Contractor shall install, establish, and maintain trees, shrubs, and landscaping until final release and acceptance but for not less than 60 calendar days after proper installation. Maintenance shall include watering per nursery/supplier standards, additional watering as required for initial period after planting per accepted nursery standards, and all other recommended measures to ensure root system establishment and healthy trees, shrubs, and landscape materials. The Contractor is responsible for installation of trees, shrubs, and landscaping including watering, mulching, and maintenance requirements, prior to final release and acceptance.

3.02 EXCAVATION & PREPARATION

A. TREES, SHRUBS, & OTHER PLANTED MATERIALS:

1. Excavate pits, beds, or trenches with vertical sides.
2. Loosen hardpan and moisture barrier to a depth of 2 feet minimum below bottom of tree pit or until hardpan has been broken and moisture drains freely. For shrub beds, loosen hardpan 6 inches minimum below bottom of excavation.
3. For balled & burlapped (B&B) trees and shrubs, make excavations at least 50% larger width than the ball diameter and equal to the ball depth, plus allowing for 6 inch minimum setting layer of planting soil mixture.
4. Mix all soil amendments thoroughly into topsoil as required by soil analysis and manufacturers recommendations prior to backfilling.
5. Plant trees and shrubs according to nursery specifications.
6. Provide minimum 3 inch depth mulch to cover all disturbed areas for tree planting and planting beds for shrubs, plants, or flowers. Verify with Owner/Architect extent of all areas to receive mulch prior to construction.
7. **The Contractor shall provide a professional landscape contractor with minimum two years experience in landscaping and tree, shrub, planted material installation. Landscape contractor must be engaged in landscaping full time as majority of his business. Landscaping contractor shall be submitted to and approved by Owner/Architect prior to start of landscaping work. Landscape contractor shall provide a minimum 12 month warranty for all lawns/grass/landscaping installed.**

B. TREE & SHRUB RELOCATION:

1. Contractor shall engage and provide a qualified arborist for review and recommendation regarding all trees and shrubs to be transplanted or relocated. Arborist shall be qualified according to standards referenced herein, and recognized industry standards for this work.
2. Contractor shall review requirements of Arborist with Owner/Architect regarding cost and chance for survival prior to proceeding with the work.

3. All materials and construction shall be in accordance with Arborist's recommendations and specifications.

4. Contractor shall provide a qualified subcontractor to complete this work (see 3.02 A (6) above) with experience and qualifications acceptable to Owner/Architect.

5. Provide minimum 3 inch depth mulch to cover all disturbed areas for tree planting and planting beds for shrubs, plants, or flowers. Verify with Owner/Architect extent of all areas to receive mulch prior to construction.

C. PLANTING BEDS:

1. Loosen subgrade of planting bed areas to minimum 6 inch depth. Remove stones larger than 1" diameter, sticks, roots, or other debris.

2. Mix all soil amendments thoroughly into topsoil as required by soil analysis and manufacturers recommendations prior to backfilling.

3. Spread planting soil mixture to minimum depth to meet proposed grades, allow for natural settlement. Work into top of loosened subgrade to create transition layer, then place remainder of planting soil.

4. Plant according to nursery specifications.

5. Provide minimum 3 inch depth mulch to cover all disturbed areas for tree planting and planting beds for shrubs, plants, or flowers. Verify with Owner/Architect extent of all areas to receive mulch prior to construction.

D. GRASS AREAS:

1. Loosen subgrade of areas to be grassed to a minimum 6 inch depth. Remove stones larger than 1" diameter, sticks, roots, trash, or other debris.

2. Place 50% of required topsoil, work into loosened subgrade to create transition layer. Place remaining topsoil to meet proposed grades.

3. Allow for sod thickness in areas to be sodded to meet finish grades.

4. Grade areas to be grassed to smooth, even surface, with loose, uniformly fine texture. Roll, rake, and remove ridges and depressions

to meet finish grades.

5. Apply all fertilizer, lime, and soil amendments required for grass type selected according to the soils sample analysis prior to installing grass. Work into top 6 inches of soil.

6. Moisten prepared grass areas if soil is dry. Water thoroughly and allow surface to dry before planting grass.

3.03 INSTALLING LAWNS AND GRASSING

A. SEEDING GRASSED AREAS:

1. Do not use wet seed. Day laborers or other unskilled workers shall not be used for lawn and grass installation. All grass areas shall be prepared in accordance with section 3.02 (D).

The Contractor shall provide a professional landscape contractor with minimum two years experience in landscaping and lawn/grass installation. Landscape contractor must be engaged in landscaping full time as majority of his business. Landscaping contractor shall be submitted to and approved by Owner/Architect prior to start of landscaping work. Landscape contractor shall provide a minimum 12 month warranty for all lawns/grass/landscaping installed.

2. Sow seed using a spreader or seeding machines. Grass seed shall be applied at a rate according to nursery specifications, not less than 40 pounds per acre. Do not seed when wind velocity exceeds 5 mph. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.

3. When Hydro-seeding, soil preparation and all other requirements of the Contract Documents and specifications must be fully implemented.

4. Rake seed lightly into top 1/8" of soil, roll lightly.

5. Water immediately after seeding with a fine spray, soaking to a minimum depth of four (4) inches. Keep grassed areas continuously moist until grass is established.

6. Protect seeded areas with mulch to a depth not less than 1.5 inches immediately after seeding is complete. Mulch material and application shall comply, at a minimum, with erosion control specifications.

7. Protect seeded areas from traffic or damage.

8. Scarify, re-seed and re-fertilize seeded areas that do not show

satisfactory growth within fifteen days after sowing, until satisfactory stand of grass is established.

B. SODDING GRASSED AREAS:

1. Do not use day laborers or unskilled workers.

The Contractor shall provide a professional landscape contractor with minimum two years experience in landscaping and lawn/grass/sod installation. Landscape contractor must be engaged in landscaping full time as majority of his business. Landscaping contractor shall be submitted to and approved by Owner/Architect prior to start of landscaping work. Landscape contractor shall provide a minimum 12 month warranty for all lawns/grass/landscaping installed.

2. **Remove all netting, tags, pins, or other non organic packing or shipping materials prior to sod installation.** Install sod within 36 hours of harvesting. Lay sod with tight joints, overlaps or gaps will not be allowed. Stagger sod joints, lay sod with long edge perpendicular to slope. Trim sod with sharp bladed instrument for clean cut, jagged edges not allowed. All sod areas shall be prepared in accordance with section 3.02 (D).

3. On slopes steeper than 3H:1V, sod shall be anchored with pins or other approved methods.

4. Installed sod shall be rolled and tamped to provide solid contact between sod and soil.

5. Irrigate sod and soil to a depth of 6 inches immediately after installation. Irrigate sod daily after installation to maintain moisture at 6 inch depth for a minimum 30 days, and as needed thereafter for health and maintenance of grass.

6. Sod shall be certified by supplier as meeting all requirements of plans and specifications, and for grass type selected.

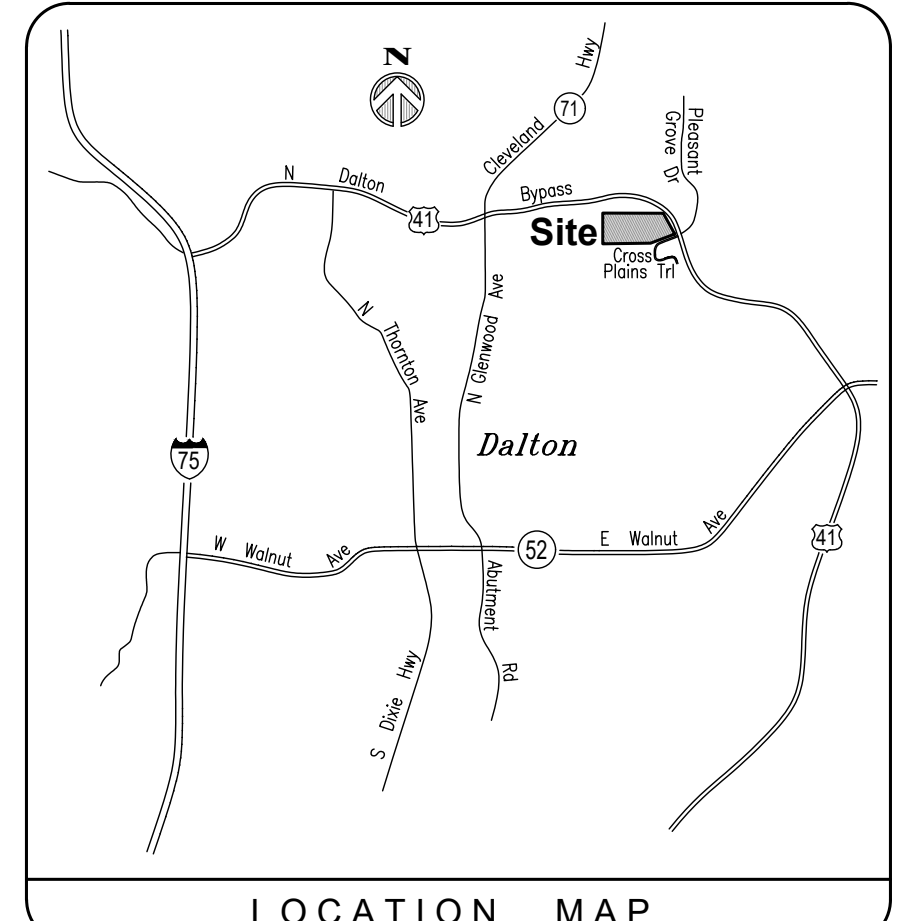
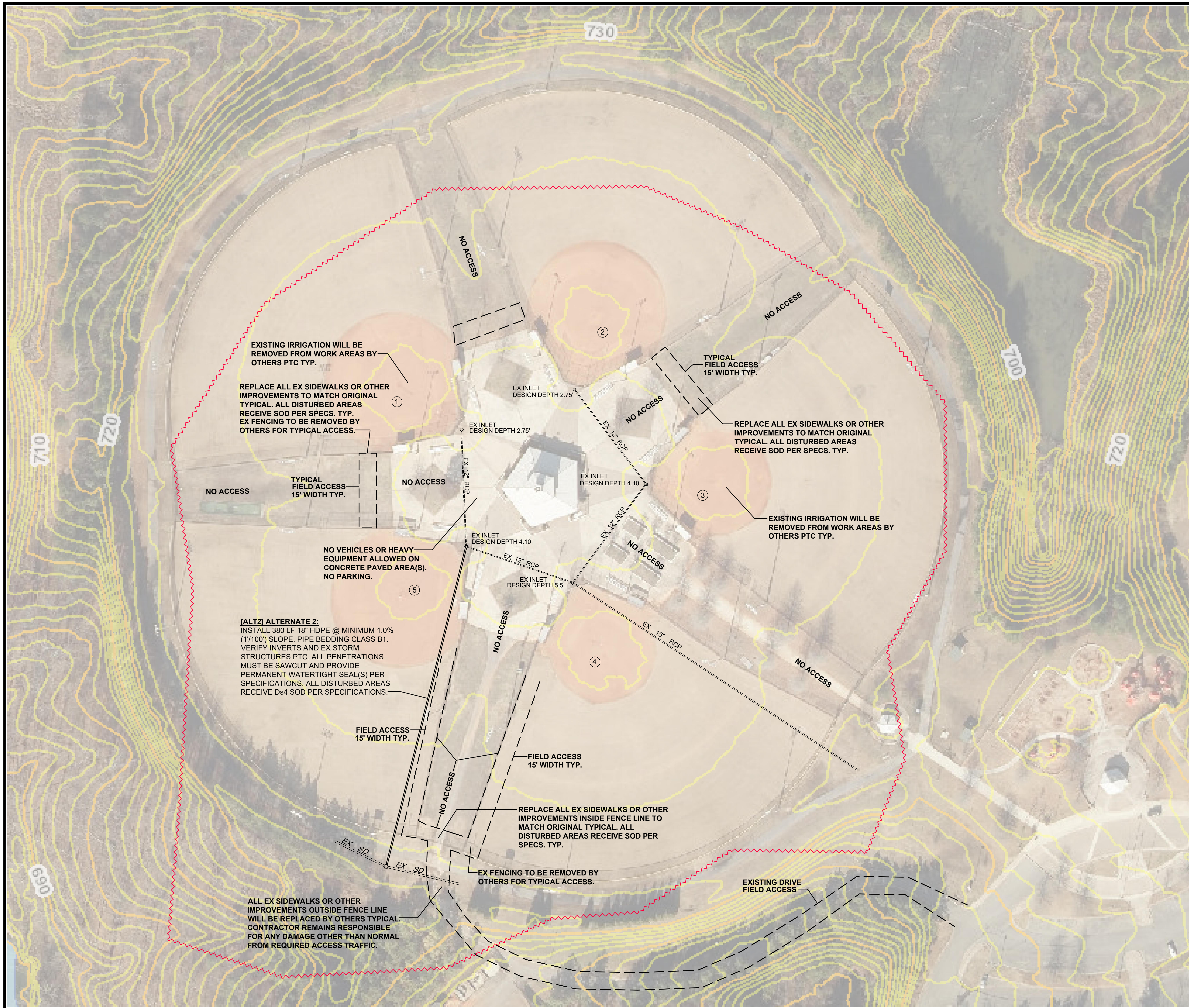
7. Sod delivery, storage, and installation shall conform to Turfgrass Producers International (1995) Guideline Specifications to turfgrass sodding (TPI GSS).

8. Comply with supplier's standards and recommendations for sod delivery, storage, and installation. Do not install sod on frozen or freezing soil.

9. Protect sodded areas from traffic or damage.

Modified by Addendum No1

END OF SECTION 02900



--- EXISTING
--- PROPOSED

+ 70.93 EXISTING SPOT ELEVATION
• 54.3 PROPOSED SPOT ELEVATION

AC-ACRES	PB-PLAT BOOK
BC-BACK OF CURB	PG-PAGE
BL-BUILDING SETBACK	PL-PROPERTY LINE
CB-CATCH BASIN	POB-POINT OF BEGINNING
CC-CURB & GUTTER	PP-POWER POLE
CH-CHORD	PS-PARKING SPACE
CL-CENTERLINE	PTC-PRIOR TO CONSTRUCTION
CMP-CORR. METAL PIPE	R-RADIUS
DB-DEED BOOK	RCP-REINFORCED CONC. PIPE
DE-DRAINAGE EASEMENT	RD-ROOF DRAIN
DI-DROP INLET	RR-RAILROAD
EP-EDGE PAVEMENT	R/W-RIGHT OF WAY
EX-EXISTING	SD-STORM DRAIN
FH-FIRE HYDRANT	SF-SQUARE FEET
G-GAS LINE	SS-SANITARY SEWER
HW-HEADWALL	SSE-SAN. SEWER EASEMENT
HD-HEAVY DUTY	SSMH-SAN. SEWER MANHOLE
IPP-IRON PIN PLACED	SW-CONCRETE SIDEWALK
IPF-IRON PIN FOUND	TB-THRUST BLOCK
JB-JUNCTION BOX	TBR-TO BE REMOVED
L-ARC LENGTH	TC-TOP OF CURB
LOC-LIMIT OF CLEARING	TELE-TELEPHONE
LP-LIGHT/LAMP POST	TR-TO REMAIN
MH-MANHOLE	TW-TOP OF WALL
N/F-NOW OR FORMERLY	W-WATER
OHP-OVERHEAD POWER	WV-WATER VALVE

LEGEND

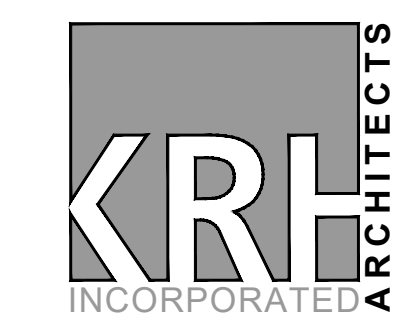
PROJECT NUMBER
23-017

DATE
11/20/23

REVISIONS

NO.	DATE
ADD 1	05/03/24

FACILITY CODE



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWR ENGINEERING CIVIL ENGINEERING SITE DEVELOPMENT

2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-8190

1275 CROSS PLAINS TRAIL DALTON, GA 30721

ISSUE DATE: 04-10-24
JOB No. 23180 SCALE: 1" = 50'

**BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721**

CITY OF DALTON PARKS AND RECREATION



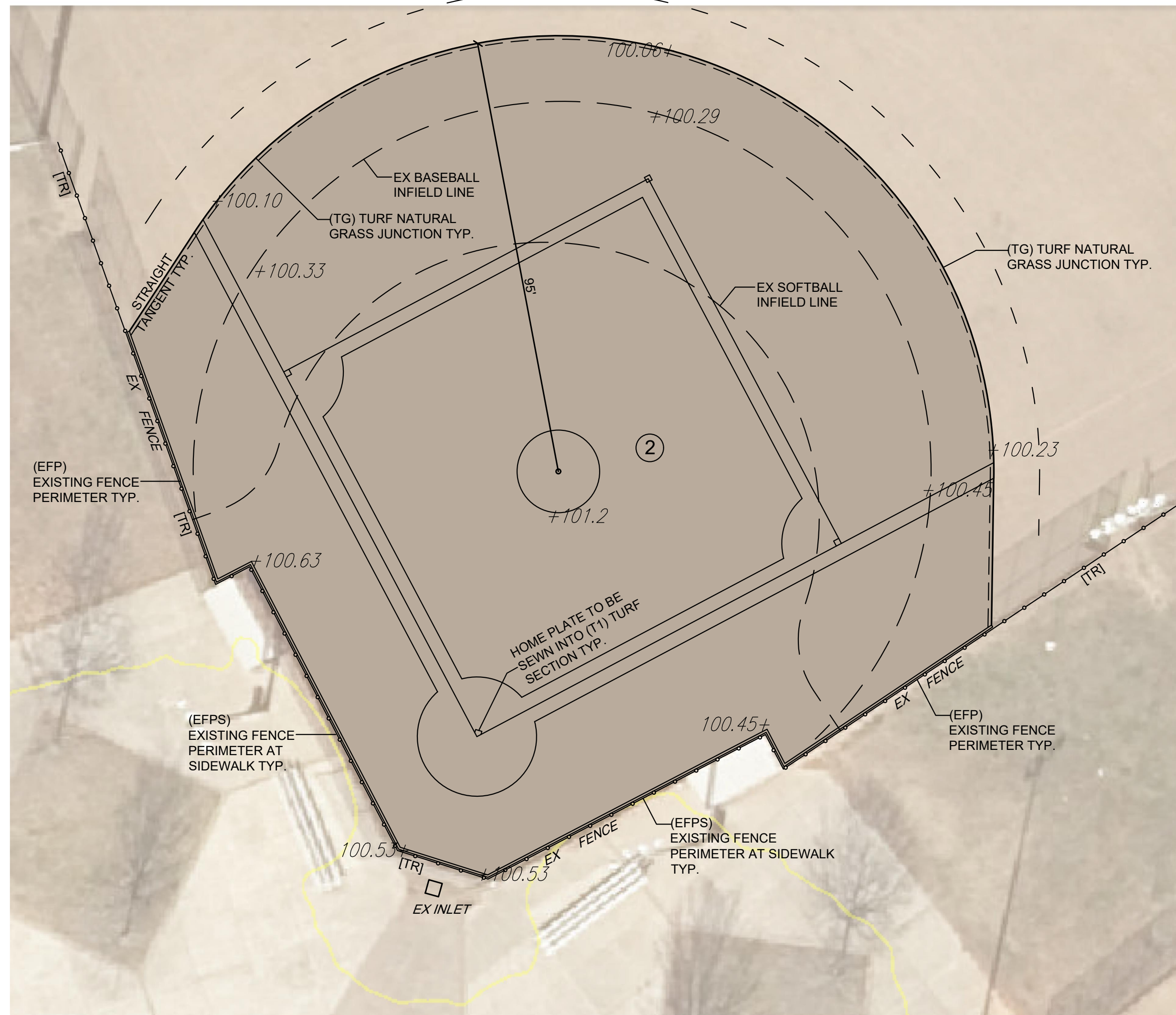
SHEET INDEX

WEST PARK PLAN

SHEET INDEX

C1

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED



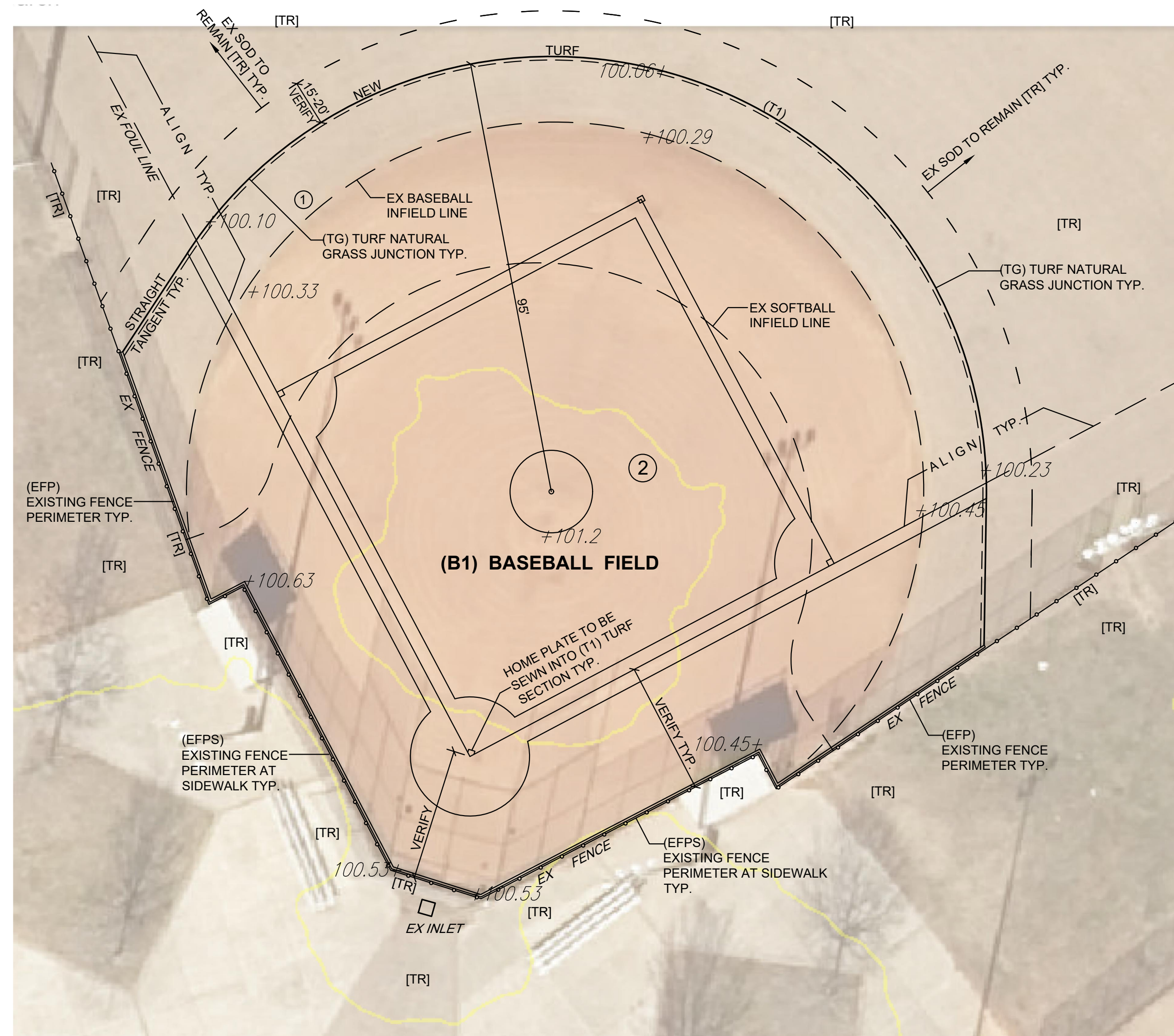
EXISTING FIELD TYPICAL TURF (T1) PLAN

(T1) INFIELD TURF

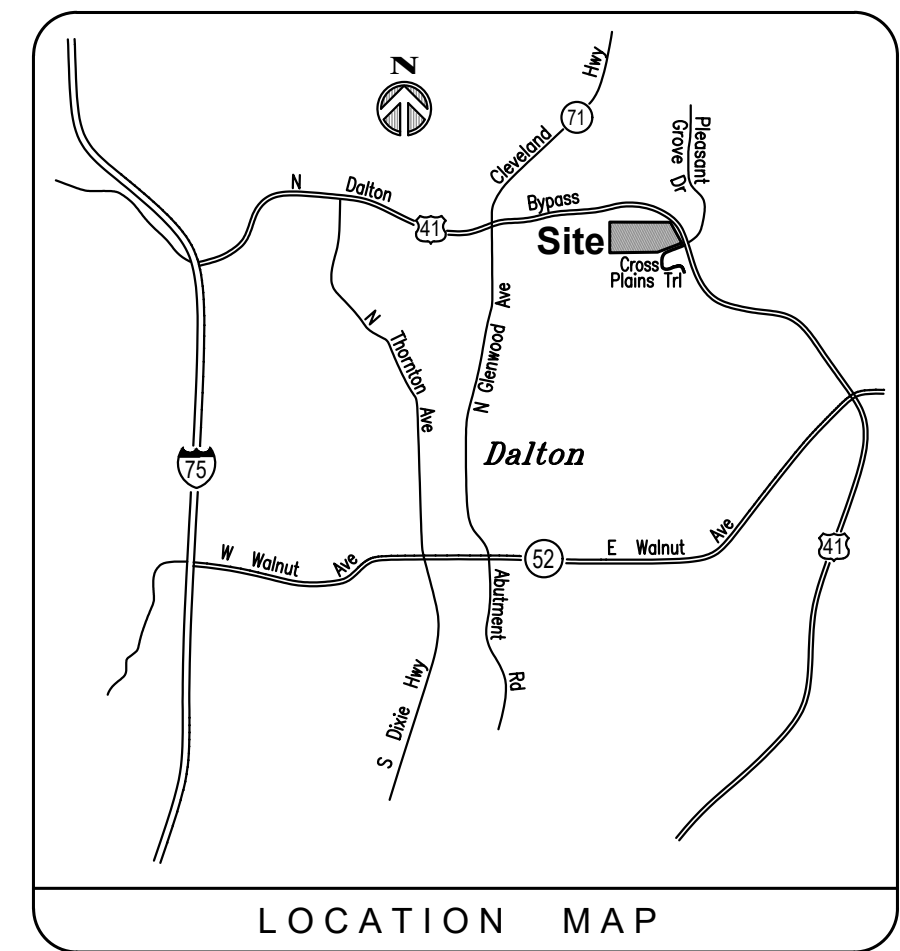
CONSTRUCTION LEGEND:

[T1] INFIELD SYNTHETIC TURF SYSTEM:

PROVIDE AND INSTALL COMPLETE SYNTHETIC TURF SYSTEM. PLANS, DETAILS, AND SPECIFICATIONS SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. CONTRACTOR SHALL:
 VISIT SITE AND CONFIRM ALL MEASUREMENTS AND EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING. COORDINATE TURF SYSTEM CONSTRUCTION, SCHEDULING, PHASING, CONNECTION(S), EQUIPMENT, AND INSTALLATION WITH GENERAL CONTRACTOR OWNER'S REP. AND ALL OTHER WORK AND PROPOSED IMPROVEMENTS ONSITE. CONTRACTOR SHALL VISIT SITE AND VERIFY THAT EXISTING ACCESS WILL MEET CONTRACTOR'S REQUIREMENTS TO COMPLETE THE WORK. ANY ISSUES WITH EXISTING ACCESS MUST BE RESOLVED PRIOR TO BIDDING. PROVIDE AND INSTALL ALL SOFTBALL/BASEBALL BASES, BASE INSERTS, INSERT PLUGS, SOFTBALL / BASEBALL COVERS, AND PLUGS, TURF AND INFILL MAINTENANCE EQUIPMENT AND TRAINING, AND WARRANTY / MAINTENANCE SERVICES PER ARCHITECT SPECIFICATIONS. TURF AND TURF STRIPING / MARKING COLOR(S) PER ARCHITECT. PROVIDE SIDELINE DESIGNATIONS. ALL STRIPING AND FIELD MARKINGS REQUIRED PER STATE OF GEORGIA GHSA HIGH SCHOOL AND NFHS STANDARDS AND SPECIFICATIONS, AND PER ARCHITECT. PROVIDE AND INSTALL ALL EQUIPMENT, STRIPING, MARKING, AND ASSOCIATED ITEMS FOR REGULATION PLAY FOR HIGH SCHOOL SOFTBALL / BASEBALL PER GHSA / NFHS STANDARDS AND SPECIFICATIONS. PROVIDE PERMANENT TICK MARKS FOR ALL REGULATION BASE AND PITCHING MOUND LOCATION(S) FOR BASEBALL AND SOFTBALL FIELD(S). COMPLETE SUBMITTAL REQUIRED FOR APPROVAL FOR SYNTHETIC TURF SYSTEM, SYSTEM COMPONENTS, WARRANTIES, AND ALL FIELD(S) STRIPING, MARKINGS, EQUIPMENT, AND LOGO(S) PRIOR TO PURCHASE.



EXISTING FIELD TYPICAL PLAN



--- EXISTING + 70.93 EXISTING SPOT ELEVATION
 --- PROPOSED • 54.3 PROPOSED SPOT ELEVATION

AC-ACRES	PB-PLAT BOOK
BC-BACK OF CURB	PG-PAGE
BL-BUILDING SETBACK	PL-PROPERTY LINE
CB-CATCH BASIN	POB-POINT OF BEGINNING
CC-CURB & GUTTER	PP-POWER POLE
CH-CHORD	PS-PARKING SPACE
CL-CENTERLINE	PTC-PRIOR TO CONSTRUCTION
CMP-CORR. METAL PIPE	R-RADIUS
DB-DEED BOOK	RCR-REINFORCED CONC. PIPE
DE-DRAINAGE EASEMENT	RD-ROOF DRAIN
DI-DROP INLET	RR-RAILROAD
EP-EDGE PAVEMENT	R/W-RIGHT OF WAY
EX-EXISTING	SD-STORM DRAIN
FH-FIRE HYDRANT	SF-SQUARE FEET
G-GAS LINE	SS-SANITARY SEWER
HW-HEADWALL	SSE-SAN. SEWER EASEMENT
HD-HEAVY DUTY	SSM-SAN. SEWER MANHOLE
IPP-IRON PIN PLACED	SW-CONCRETE SIDEWALK
IPP-IRON PIN FOUND	TB-THRUST BLOCK
JB-JUNCTION BOX	TBR-TO BE REMOVED
L-ARC LENGTH	TC-TOP OF CURB
LOC-LIMIT OF CLEARING	TELE-TELEPHONE
LP-LIGHT/LAMP POST	TR-TO REMAIN
MH-MANHOLE	TW-TOP OF WALL
N/F-NOW OR FORMERLY	W-WATER
OHP-OVERHEAD POWER	WV-WATER VALVE

LEGEND

PROJECT NUMBER
23-017

DATE
11/20/23

REVISIONS
NO. DATE

FACILITY CODE



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

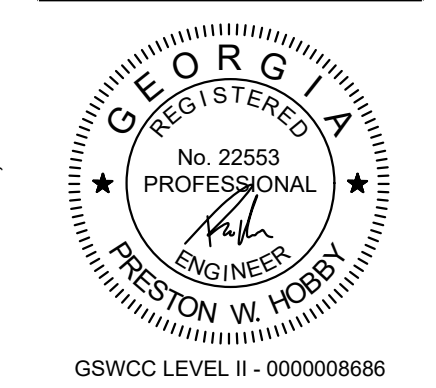
PWR ENGINEERING
 CIVIL ENGINEERING
 SITE DEVELOPMENT

2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-8190

1275 CROSS PLAINS TRAIL DALTON, GA 30721

ISSUE DATE: 04-10-24
 JOB No. 23180 SCALE: 1" = 20'

BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
 1275 CROSS PLAINS TRAIL DALTON, GA 30721
 CITY OF DALTON PARKS AND RECREATION



SHEET INDEX

TYPICAL
EXISTING FIELD
SITE PLAN

SHEET INDEX

C2

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED

DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATION, VERIFICATION, PROTECTION, MAINTENANCE, RELOCATION, REMOVAL OR RENOVATION OF ALL EXISTING UTILITIES, SITE IMPROVEMENTS, STRUCTURES, OBJECTS, OR CONSTRUCTION ELEMENTS REQUIRED TO COMPLETE THE WORK SHOWN ON THE PLANS, NOTES, SPECIFICATIONS, AND CONTRACT DOCUMENTS, WHETHER SHOWN ON THE PLANS OR NOT. ITEMS SHOWN AS [DE], [TR], [TBR], OR OTHERWISE [] DESIGNATED ARE SHOWN FOR GENERAL REFERENCE ONLY, AND ARE NOT ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS TO BE REMOVED [TBR], ALL ITEMS TO REMAIN [TR], AND ALL ITEMS REQUIRING DEMOLITION [DE], RELOCATION, ALTERATION, AND PROTECTION WHETHER DESIGNATED ON THE PLANS OR NOT. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING IMPROVEMENTS AND SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.

2. CONTRACTOR SHALL COORDINATE AND VERIFY ALL DEMOLITION, REMOVAL, AND ASSOCIATED WORK WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

3. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR EXISTING AND PROPOSED BUILDING DEMOLITION, REMOVAL, AND RENOVATION.

4. CONTRACTOR SHALL: CONTACT UPC (UTILITIES PROTECTION CENTER) FOR LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IN ADDITION, PROVIDE PRIVATE UTILITY LOCATE FOR ALL ONSITE WORK OR ACCESS AREAS. UTILITIES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AND MAY NOT BE ACCURATE. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON PLANS. OBTAIN APPROVAL FROM ALL LOCAL UTILITY AUTHORITIES AND LOCATE, VERIFY, AND COORDINATE ALL REQUIRED CONSTRUCTION FOR ALL UTILITIES WITHIN THE WORK AREA. MAINTAIN UTILITY SERVICE(S) AT ALL TIMES. COORDINATE CONSTRUCTION SEQUENCE ACCORDINGLY. PROVIDE OWNER/ENGINEER COMPLETE RESULTS OF ALL UTILITY LOCATION(S) PRIOR TO CONSTRUCTION.

5. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL IMPROVEMENTS, INCLUDING LANDSCAPING, NOT REQUIRING REMOVAL. **ALL IMPROVEMENTS, UTILITIES, OR STRUCTURES NOT SPECIFICALLY DESIGNATED FOR REMOVAL ARE TO REMAIN.** DAMAGED IMPROVEMENTS SHALL BE RESTORED AT CONTRACTOR'S EXPENSE.

6. CONTRACTOR SHALL HAVE PROPERTY CORNERS, RIGHT-OF-WAY, AND BOUNDARY MARKED AND LOCATED. DO NOT ENCROACH ON ADJACENT PROPERTIES.

7. CONTRACTOR SHALL COORDINATE ALL DEMOLITION ADJACENT TO STRUCTURES OR FOUNDATION ELEMENTS WITH THE ARCHITECT AND STRUCTURAL ENGINEER TO ENSURE THAT NO DAMAGE OR DEGRADATION WILL OCCUR.

8. CONTRACTOR SHALL BLEND NEW CONSTRUCTION INTO EXISTING IMPROVEMENTS. ALL JUNCTIONS, COMMON POINTS, JOINTS, ETC. SHALL BE BLENDED FOR A SMOOTH TRANSITION. ALL DAMAGED IMPROVEMENTS SHALL BE RESTORED BY THE CONTRACTOR TO ORIGINAL CONDITION AT NO EXPENSE TO OWNER.

9. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL OTHER PERSONS ONSITE AT ALL TIMES. CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS AND REGULATIONS.

DEMOLITION LEGEND:

[TR] TO REMAIN:

EXISTING IMPROVEMENT OR ITEM TO REMAIN. LOCATE, VERIFY, MARK, AND PROTECT FROM DAMAGE BY ALL NECESSARY MEANS. FOR UTILITIES, MAINTAIN SERVICE AT ALL TIMES.

[TBR] TO BE REMOVED:

EXISTING IMPROVEMENT OR ITEM TO BE REMOVED. LOCATE, VERIFY, AND REMOVE. DISPOSE OF OFF SITE IN A LEGAL MANNER. FOR UTILITIES, MAINTAIN SERVICE AT ALL TIMES. COORDINATE ALL UTILITY REMOVAL OR ALTERATION WITH APPROPRIATE UTILITY AUTHORITY.

[CU] COORDINATE UTILITIES:

CONTACT UTILITY LOCATION AUTHORITY AND VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ALL EXISTING AND PROPOSED UTILITY CONSTRUCTION, REMOVAL, ALTERATION, RENOVATION, OR RELOCATION REQUIRED TO COMPLETE THE WORK WITH THE APPROPRIATE UTILITY AUTHORITY. RESOLVE ALL CONFLICTS, OMISSIONS, OR DISCREPANCIES PRIOR TO CONSTRUCTION.

[DE] DEMOLITION REQUIRED:

DEMOLITION OR PARTIAL REMOVAL REQUIRED. CONFORM TO APPLICABLE ARCHITECTURAL AND/OR RELATED ENGINEERING PLANS AND SPECIFICATIONS. COORDINATE UTILITIES WITH APPROPRIATE AUTHORITY.

[VE] VERIFY EASEMENT:

VERIFY EASEMENT FOR ENCRoACHMENT PRIOR TO CONSTRUCTION. DO NOT ENCRoACH ADJACENT PROPERTY WITHOUT WRITTEN PERMISSION.

CONSTRUCTION LEGEND:

[AT] STRUCTURE TOP ADJUSTMENT:

RAISE, LOWER, MOVE, ALTER, ADD OR ADJUST EXISTING MANHOLE OR OTHER STRUCTURE TOP, BOX, RING AND COVER AS REQUIRED FOR PROPOSED CONSTRUCTION. REFERENCED STANDARDS, DETAILS, AND SPECIFICATIONS APPLY AS MINIMUM REQUIREMENTS. STRUCTURE TOPS SHALL BE EVEN WITH FINISHED PAVEMENT IN PAVED AREAS AND RATED FOR TRAFFIC IN TRAFFIC AREAS. STRUCTURE TOPS SHALL BE 6 INCHES ABOVE FINISHED GRADE IN UNPAVED AREAS.

[CA] CONTROLLED ACCESS:

PROVIDE CONTROLLED ACCESS TO PROJECT SITE USING GATES, TRAFFIC CONTROL [TC], AND PERSONNEL TO MONITOR ACCESS AND PROHIBIT UNAUTHORIZED ENTRY TO THE SITE. PROVIDE ALL WARNING, INSTRUCTIONAL, AND DIRECTIONAL SIGNAGE TO INFORM PUBLIC AND MAINTAIN SAFE CONTROLLED ACCESS AT ALL TIMES. ALL GATES SHALL BE LOCKED AT ALL TIMES EXCEPT FOR AUTHORIZED ENTRY. PROVIDE TEMPORARY FENCING TO PROHIBIT AND CONTROL ACCESS. COORDINATE WITH OWNER AND MAINTAIN SAFE ACCESS FOR NORMAL OPERATION AND FUNCTION. CONTROLLED ACCESS POINTS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL FINAL RELEASE BY OWNER.

[CS] CRITICAL SLOPE:

SLOPE SHOWN IS LESS THAN 1 FOOT PER 100 FEET (1.0%). CONTRACTOR SHALL USE LASER GUIDED EQUIPMENT AND PROVIDE ALL NECESSARY MEASURES TO ENSURE FINAL GRADE IS ESTABLISHED AS DESIGNED. CONSTRUCTION TOLERANCE IS NOT ALLOWED FOR CRITICAL SLOPES OR GRADES. NO PONDING OR DEPRESSED AREAS ALLOWED.

[CT] CURB TAPER:

CONTRACTOR SHALL TAPER CURB HEIGHT FROM STANDARD HEIGHT TO 0" HEIGHT FOR LENGTH SHOWN ON PLANS. END OF TAPER SHALL BLEND SMOOTH INTO PROPOSED FINISH GRADES SO THAT 0" (ZERO INCHES) CURB HEIGHT WILL MATCH ADJACENT PAVEMENT, IMPROVEMENTS, AND/OR FINISH GRADES. PROVIDE EXPANSION JOINT AT INTERFACE. ALL SIDEWALKS ADJACENT TO CURB TAPERS (CT) SHALL BE TAPERED TO MATCH CURB TAPER(S).

[FJ] FLUSH JOINT:

CONTRACTOR SHALL PROVIDE FLUSH JOINT ALONG DESIGNATED LENGTH. ELEVATIONS SHALL MATCH EQUALLY ALONG ENTIRE LENGTH FROM ONE SURFACE TO ADJACENT SURFACES. PROVIDE EXPANSION JOINT ALONG ENTIRE LENGTH OF PAVEMENT OR CURB EDGES. CROSS SLOPE SHALL BE LEVEL ACROSS GUTTER WIDTH. FLUSH JOINT SHALL BE INSTALLED TO PROVIDE SMOOTH, LEVEL CROSS SLOPE, AND EVEN TRANSITION FROM ONE SURFACE TO ANOTHER ALONG ENTIRE LENGTH. BUMPS, DIPS, RAISED OR LOWERED EDGES, OR OTHER ELEVATION DIFFERENCES WILL NOT BE ALLOWED.

CONSTRUCTION LEGEND:

[ME] MATCH EXISTING:

MATCH EXISTING FINISH GRADE. VERIFY IN FIELD PRIOR TO CONSTRUCTION (PTC). VERIFY POSITIVE SLOPE TO PROVIDE FLOW AS INDICATED.

[SW] SIDEWALK, RAMP OR STEPS:

CONCRETE SIDEWALK WITH FINISH PER ARCHITECT. SIDEWALK WIDTHS AND DIMENSIONS AT DOORS OR ENTRANCE/EXITS SHALL BE PER ARCHITECTURAL PLANS. MINIMUM WIDTH IS DOOR WIDTH PLUS 1.0 FEET EACH SIDE. PROVIDE POSITIVE SLOPE AWAY FROM DOOR THRESHOLDS OF 1/8 INCH PER FOOT (1.0%) MINIMUM. SIDEWALK SLOPES GREATER THAN 1:20 (0.05 FT./FT.) WILL BE CONSIDERED RAMP. MAXIMUM SLOPE FOR SIDEWALKS IS 1:12 (0.083 FT./FT.). MAXIMUM SIDEWALK CROSS SLOPE IS 1/4 INCH PER FOOT. SIDEWALKS SHALL BE INSTALLED WITH MINIMUM 6X6 10 GAUGE WWF REINFORCEMENT, 1.5 INCHES FROM BOTTOM. HANDRAILING SHALL BE INSTALLED ON BOTH SIDES OF SIDEWALK RAMP PER ADA CODE. CONTRACTOR SHALL INSTALL STEPS AND RAILING PER LOCAL CODE(S) AND CONSTRUCTION DETAILS. CONSULT WITH ARCHITECT REGARDING SIDEWALK AND RAILING DETAILS PRIOR TO CONSTRUCTION. MINIMUM RAILING DETAIL REQUIREMENT(S) SHALL COMPLY WITH GEORGIA D.O.T. 903HR OR AS SHOWN ON PLANS AND SPECIFICATIONS. CANOPIES SHALL BE INSTALLED PER ARCHITECTURAL PLANS AND SPECIFICATIONS. COORDINATE AND VERIFY ALL SIDEWALK LAYOUT, WIDTH, LOCATION AND FINISH WITH ARCHITECT PRIOR TO CONSTRUCTION.

[TC] TRAFFIC CONTROL:

CONTRACTOR SHALL PROVIDE 24 HOUR TRAFFIC CONTROL FOR ALL PUBLIC RIGHT-OF-WAY, ROADWAYS, PRIVATE DRIVES, [CA] CONTROLLED ACCESS AREAS, AND ALL AREAS REQUIRING ACCESS. PROVIDE TRAFFIC PLATES OR OTHER APPROVED METHODS FOR ALL AREAS REQUIRING TEMPORARY ACCESS WHICH MAY BE OBSTRUCTED DUE TO REQUIRED UTILITY TRENCH CUTS OR OTHER OBSTRUCTIONS. TRAFFIC CONTROL SHALL CONFORM TO GEORGIA D.O.T STANDARDS AND SPECIFICATIONS, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS. TRAFFIC CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO: WARNING SIGNS AND DEVICES, LIGHTED DEVICES/SIGNALS FOR NIGHT CONDITIONS, BARRICADES, QUALIFIED FLAGMEN, AND ALL OTHER MEASURES TO INSURE THE SAFETY OF PEDESTRIAN AND VEHICULAR TRAFFIC AND WORKMEN, AND TO PROTECT THE WORK. MAINTAIN ALL TRAFFIC CONTROL MEASURES IN GOOD REPAIR, CLEAN AND VISIBLE FOR DAY AND NIGHT OPERATION. ALL LANE CLOSURES SHALL BE COORDINATED WITH AND APPROVED BY THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.

[TF] TEMPORARY FENCE:

INSTALL TEMPORARY FENCE PER PROJECT SPECIFICATIONS. TEMPORARY FENCE [TF] SHOWN ON PLANS IS IN ADDITION TO TEMPORARY FENCE REQUIRED BY THE SPECIFICATIONS. MINIMUM HEIGHT IS SIX FEET (6'). TEMPORARY FENCE MUST BE INSTALLED VERTICAL (PLUMB), RIGID AND STABLE, AND WITHOUT GAPS TO PROHIBIT UNAUTHORIZED ENTRY OR REMOVAL. IN PAVED AREAS TO REMAIN [TR] WHERE [TF] IS REQUIRED PORTABLE FENCING MAY BE USED. PORTABLE FENCING MUST BE HEAVY DUTY GRADE COMPLYING WITH PROJECT SPECIFICATIONS AT A MINIMUM, SECTIONS SHALL BE CONNECTED AND ATTACHED SECURELY, VERTICAL (PLUMB), STABLE AND RIGID TO PROHIBIT UNAUTHORIZED ENTRY OR REMOVAL. PROVIDE WEIGHTED BOTTOM RAIL OR OTHER MEANS TO PREVENT HORIZONTAL DISPLACEMENT OR MOVEMENT. GATES OR ACCESS POINTS MUST BE MONITORED, SECURED, AND LOCKED [CA]. DO NOT ALLOW ANY UNAUTHORIZED ACCESS AT ANY TIME. WHERE DRIVEN POSTS ARE USED IN AREAS TO REMAIN [TR], PAVEMENTS MUST BE CUT AND PATCHED FOR FILL DEPTH AND ALL IMPROVEMENTS MUST BE RESTORED TO MATCH INDUSTRY STANDARD OR EXISTING CONDITION, WHICHEVER IS GREATER. TEMPORARY FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL FINAL RELEASE BY OWNER/ARCHITECT. INSPECT, REPAIR AND MAINTAIN TEMPORARY AND PORTABLE FENCING DAILY TO PROHIBIT UNAUTHORIZED ENTRY. SUBMIT ALL MANUFACTURER DETAILS AND SPECIFICATIONS FOR [TF] TEMPORARY FENCE AND PORTABLE FENCE APPROVAL PRIOR TO CONSTRUCTION (PTC).

[VC] VERIFY & COORDINATE:

VERIFY ALL EXISTING IMPROVEMENTS. PROTECT BY ALL MEANS NECESSARY ALL EXISTING IMPROVEMENTS TO REMAIN. COORDINATE RELOCATION, REMOVAL, STORAGE, OR DEMOLITION WITH OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

[VS] VERIFY SLOPE PTC:

VERIFY ALL EXISTING SPOT ELEVATIONS AND CONFIRM THAT POSITIVE SLOPE WILL BE ACHIEVED PER DESIGN AS INDICATED. REPORT ANY ERRORS OR DISCREPANCIES TO ENGINEER IMMEDIATELY FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK. **NO PONDING OR DEPRESSED AREAS WILL BE ALLOWED.**

GRADING NOTES:

1. SEE GENERAL CONSTRUCTION NOTES FOR FURTHER INFORMATION RELATING TO SITE DEVELOPMENT AND GRADING IMPROVEMENTS.

2. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION (LAHJ). ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE. SEE EROSION CONTROL PLAN FOR DETAILS.

3. RESERVED

4. ALL UTILITIES SHOWN ON THE PLANS ARE SHOWN ACCORDING TO THE INFORMATION AVAILABLE, AND MAY NOT BE ACCURATE HORIZONTALLY OR VERTICALLY. GAS LINES SHALL BE LOCATED AND VERIFIED WITH GAS AUTHORITY PRIOR TO CONSTRUCTION. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION, ORIGIN, VERIFICATION, PROTECTION, AND MAINTENANCE OF ALL UTILITIES AND UTILITY EASEMENTS WHICH EXIST ONSITE. CONTRACTOR SHALL PROVIDE PRIVATE UTILITY LOCATE FOR ALL WORK AND DISTURBED AREAS AND HAVE ALL UTILITIES FIELD LOCATED BY THE APPROPRIATE AUTHORITY AND COORDINATE ALL EXISTING OR PROPOSED UTILITY CONSTRUCTION, RELOCATION, TAPS OR OTHER ASSOCIATED WORK WITH THE APPROPRIATE UTILITY AUTHORITY. RESOLVE ALL CONFLICTS OR PROBLEMS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES FOR PROPOSED CONSTRUCTION WITH OWNER AND UTILITY AUTHORITY, INCLUDING BUT NOT LIMITED TO: GAS LINES, POWER LINES, CABLE TV OR TELEPHONE, IT LINES, IRRIGATION LINES, AND OTHER ASSOCIATED UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. RESOLVE ALL CONFLICTS OR PROBLEMS PRIOR TO CONSTRUCTION.

5. ALL CUT AND FILL GRADING OPERATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND REQUIREMENTS OF THE GEOTECHNICAL/SOILS ENGINEER. SUBSURFACE SOIL CONDITIONS WHICH MAY BE ENCOUNTERED, SUCH AS UNDERGROUND SPRINGS, HIGH WATER TABLE, ROCK OR UNSUITABLE SOILS, SHALL BE RESOLVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. IN THE ABSENCE OF A QUALIFIED SOILS ENGINEER, THE CONTRACTOR IS RESPONSIBLE FOR ALL SOILS AND CONSTRUCTION SELECTED FOR ANY USE IN COMPLETING THE WORK.

6. PWH ENGINEERING, INC. IS NOT RESPONSIBLE FOR SUITABILITY, STRUCTURAL INTEGRITY, COMPACTION, CUT OR FILL QUANTITY OF ANY SOILS SELECTED OR REQUIRED FOR USE IN THE COMPLETION OF THE WORK.

7. MINIMUM COMPACTION FOR ALL FILL IS 95% MAXIMUM DRY DENSITY PER ASTM D698, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER, OR AS SPECIFIED IN THE GEOTECHNICAL SOILS SUBSURFACE EVALUATION ANALYSIS AND REPORT, WHICHEVER IS GREATER.

8. MAXIMUM CUT OR FILL SLOPE IS 2H:1V UNLESS SPECIFIED OTHERWISE.

9. MINIMUM FLOOR ELEVATIONS SHOWN ARE BASED UPON EXISTING CONDITIONS, PROPER FUNCTIONING OF CHANNELS, DRAINAGE COURSES, AND STORM DRAIN SYSTEMS. ANY RESTRICTIONS OR ALTERATIONS TO THESE ELEMENTS MAY CAUSE FLOODING ABOVE THE STATED MINIMUM FLOOR ELEVATIONS.

10. CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM ALL BUILDINGS, FINISHED FLOORS, AND STRUCTURES WHICH MAY BE DAMAGED BY WATER INTRUSION FOR A MINIMUM OF 5.0 FEET HORIZONTALLY.

11. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY DEVICES, PROCEDURES, PRECAUTIONS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK. NO PERSON SHALL ENTER ANY MANHOLE OR OTHER UNDERGROUND STRUCTURE, WITHOUT PROTECTIVE BREATHING APPARATUS, AND AT LEAST ONE OTHER PERSON PRESENT FOR SAFETY. ALL TRENCHES, GRADING, EXCAVATION, AND EARTHWORK SHALL CONFORM TO OSHA STANDARDS FOR SAFETY, SHORING, AND BRACING.

12. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTY OR EXISTING UTILITIES OR IMPROVEMENTS DUE TO CONSTRUCTION REQUIRED TO COMPLETE THE WORK. ALL DAMAGED PROPERTY SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR.

13. LINE OF SIGHT DISTANCE AT INTERSECTIONS SHALL BE MAINTAINED PERMANENTLY FREE AND CLEAR OF ALL OBSTRUCTION.

14. FINISHED GRADES LESS THAN 1.0% (1 FT. PER 100 FT.) MAY BE REQUIRED DUE TO SITE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS NECESSARY TO PROVIDE GRADES WITHOUT PONDING OR DEPRESSED AREAS.

15. FLOW ARROWS AND SPOT ELEVATIONS SHOWN DETERMINE DESIGN INTENT. WHERE CONFLICTS OCCUR BETWEEN FLOW ARROWS AND SPOT ELEVATIONS NOTIFY ENGINEER IMMEDIATELY AND RESOLVE PRIOR TO CONSTRUCTION.

16. CONTRACTOR SHALL ESTABLISH PERMANENT GRASSING ON ALL DISTURBED AREAS PRIOR TO FINAL RELEASE, WHETHER SHOWN ON THE PLANS OR NOT.

17. OWNER IS RESPONSIBLE FOR COMPLIANCE WITH CLEAN WATER ACT, USACE WETLANDS AND SECTION 404 PERMITTING.

18. THE CONTRACTOR SHALL PROVIDE STORM WATER DISCHARGE MONITORING, DOCUMENTATION, AND REPORTING, AND FULLY COMPLY WITH THE CURRENT GEORGIA NPDES PERMIT CONDITIONS AND REQUIREMENTS. CONTRACTOR SHALL PROVIDE COPIES OF ALL REPORTING AND DOCUMENTATION TO OWNER IMMEDIATELY AND THROUGHOUT CONSTRUCTION. **CONTRACTOR SHALL SIGN, CERTIFY, AND SUBMIT THE NOTICE OF INTENT (NOI) USING REGISTERED MAIL, AND ANY OTHER RELATED NOTICE(S), APPLICATIONS, OR CERTIFICATIONS REQUIRED FOR FULL COMPLIANCE WITH CURRENT APPLICABLE LAWS AND REGULATIONS. CONTRACTOR SHALL PROVIDE COPIES OF ALL REPORTING AND DOCUMENTATION TO OWNER IN A TIMELY MANNER THROUGHOUT CONSTRUCTION.**

19. ALL SOILS USED FOR FILL IN EARTHEN DAMS OR WATER IMPOUNDMENT AREAS SHALL BE ML OR CL LOW PLASTICITY CLAYS PER THE UNIFIED SOIL CLASSIFICATION, APPROVED BY THE GEOTECHNICAL ENGINEER. ALL ORGANICS, TOPSOIL, OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE ENTIRE FILL AREA. ALL FILL SHALL BE PLACED IN MAXIMUM 6 INCH LIFTS. MINIMUM COMPACTION IS 95% OF STANDARD MAXIMUM DENSITY. NO GRAVEL, AGGREGATE OR GRAVEL PIPE BEDDING, OR ANY PERVIOUS MATERIAL SHALL BE PLACED IN THE DAM OR FILL AREA(S). SCARIFY EXISTING SUBGRADE PRIOR TO PLACING FILL.

20. ALL STORM SEWER STRUCTURES, PIPING, AND APPURTENANCES SHALL BE COMPLETELY CLEANED AND FREE OF ALL TRASH, DEBRIS, SEDIMENT, SILT, OR OTHER UNSUITABLE MATERIALS.

21. EXISTING STORM SEWER CAPACITY AND SERVICE LEVEL WILL NOT BE INCREASED OR ENHANCED BY PROPOSED DESIGN.

22. **WET SOILS WILL NOT BE CONSIDERED UNSUITABLE AND WET SOIL REMEDIATION WILL NOT BE ADDITIONAL COST TO THE OWNER. REMEDY WET SOILS PER GEOTECH ENGINEER.**

GENERAL CONSTRUCTION NOTES:

1. LAHJ = LOCAL AUTHORITIES HAVING JURISDICTION.

2. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM, AT A MINIMUM, TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LAHJ. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL CURRENT APPLICABLE STANDARDS, SPECIFICATIONS, AND DETAILS OF THE LAHJ. ALL DISCREPANCIES BETWEEN THESE STANDARDS AND THE CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE REPORTED IMMEDIATELY FOR RESOLUTION PRIOR TO CONSTRUCTION.

3. THE CONTRACTOR IS RESPONSIBLE FOR ALL FEDERAL, STATE, OSHA, AND LOCAL SAFETY REGULATIONS, LAWS, CODES OR ORDINANCES WHICH MAY APPLY.

4. THE CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS FOR ERRORS, OMISSIONS, DISCREPANCIES, OR CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY ERRORS OR OMISSIONS IN THE PLANS, OR BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS, IMMEDIATELY. ANY WORK DONE AFTER SUCH DISCOVERY, WITHOUT APPROVAL, IS AT THE CONTRACTOR'S RISK.

5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO AND FROM THE SITE AT ALL TIMES. UTILITY SERVICES SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL COORDINATE ANY TEMPORARY INTERRUPTION OF ACCESS OR UTILITIES WITH THE OWNER PRIOR TO THE INTERRUPTION.

6. ALL MATERIALS TO BE REMOVED SHALL BE DISPOSED OFF SITE IN A LEGAL MANNER.

7. ALL UTILITIES SHOWN ON THE PLAN ARE SHOWN ACCORDING TO INFORMATION AVAILABLE, AND MAY NOT BE ACCURATE HORIZONTALLY OR VERTICALLY. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION, ORIGIN, VERIFICATION, PROTECTION AND MAINTENANCE OF ALL UTILITIES WHICH EXIST ONSITE OR MAY BE IMPACTED BY THE WORK. CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED AND MARKED BY THE APPROPRIATE AUTHORITIES AND COORDINATE ALL UTILITY CONSTRUCTION, TAPS, OR OTHER ASSOCIATED WORK WITH THE APPROPRIATE UTILITY AUTHORITY. RESOLVE ANY CONFLICTS OR ERRORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CLEARLY MARK AND MAINTAIN PROPERTY CORNERS, BOUNDARY, MONUMENT, AND BENCHMARKS THROUGHOUT CONSTRUCTION.

8. CONTRACTOR SHALL REVIEW ALL SITE IMPROVEMENTS, WALKS, PARKING, PAVEMENT, BUILDINGS, STRUCTURES, OR OTHER IMPROVEMENTS SHOWN ON THESE PLANS FOR CONFORMITY WITH THE CURRENT APPROVED ARCHITECTURAL AND RELATED ENGINEERING PLANS. RESOLVE ALL CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.

9. CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNS, LIGHTS, OR OTHER DEVICES FOR THE SAFETY AND PROTECTION OF ALL PERSONS ON THE SITE. FOR TRAFFIC SAFETY, IN THE ABSENCE OF SPECIFIC TRAFFIC REQUIREMENTS OF THE LAHJ, THE MANUAL FOR UNIFORM TRAFFIC SAFETY CONTROL DEVICES SHALL BE USED.

10. PROPOSED BUILDING AND STRUCTURE LOCATIONS ARE SHOWN BASED ON ARCHITECTURAL PLANS PROVIDED. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS, EXISTING AND PROPOSED, JUNCTIONS, COMMON POINTS, AND LAYOUT GEOMETRY AS REQUIRED FOR COMPLETION OF THE WORK.

11. MINIMUM PIPE BEDDING FOR ALL PIPING SHALL CONFORM TO GEORGIA D.O.T. STANDARDS AND SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE. UNSUITABLE, WET, SPONGY, OR SOFT SOILS WILL REQUIRE ADDITIONAL BEDDING DESIGN AND CONSTRUCTION, AND SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER FOR RESOLUTION PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

12. BOUNDARY, TOPOGRAPHIC, VERTICAL AND HORIZONTAL SURVEY DATA PROVIDED BY OTHERS. PWH ENGINEERING, INC. IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS, OR OTHER DEFECTS ARISING FROM OR RELATED TO ANY INFORMATION OR DATA PROVIDED BY OTHERS.

13. CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH THE LAHJ FOR START OF CONSTRUCTION AND INSPECTION PROCEDURES.

14. ALL CONSTRUCTION DETAILS SHOWN ON THE PLANS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL REVIEW AND VERIFY ALL CONSTRUCTION DETAILS FOR COMPLIANCE WITH CURRENT REFERENCED STANDARDS AND THE LAHJ.

15. THE CONTRACTOR, AND ANY SUBCONTRACTORS, ARE RESPONSIBLE FOR ALL SAFETY DEVICES AND EQUIPMENT REQUIRED FOR COMPLETION OF THE WORK. NO PERSON SHALL ENTER ANY MANHOLE, OR UNDERGROUND STRUCTURE, WITHOUT PROTECTIVE BREATHING APPARATUS, AND AT LEAST ONE OTHER PERSON PRESENT FOR SAFETY. ALL TRENCHES, GRADING, AND EXCAVATION SHALL CONFORM TO OSHA STANDARDS FOR SHORING AND BRACING.

16. MINIMUM FINISHED FLOOR ELEVATIONS WHICH MAY BE SHOWN ARE BASED UPON EXISTING CONDITIONS AND PROPER FUNCTION OF CHANNELS, DRAINAGE COURSES, AND STORM DRAIN SYSTEMS. ANY RESTRICTION, DAMAGE, OR ALTERATION TO THESE ELEMENTS, EXISTING OR PROPOSED, MAY CAUSE FLOODING ABOVE THE STATED MINIMUM FLOOR ELEVATIONS.

17. CONTRACTOR SHALL ESTABLISH PERMANENT GRASSING ON ALL DISTURBED AREAS PRIOR TO FINAL RELEASE, WHETHER SHOWN ON THE PLANS OR NOT.

18. THE CONTRACTOR SHALL PROVIDE STORM WATER DISCHARGE MONITORING, DOCUMENTATION, AND REPORTING, AND FULLY COMPLY WITH THE CURRENT GEORGIA NPDES PERMIT CONDITIONS AND REQUIREMENTS. **CONTRACTOR SHALL SIGN, CERTIFY, AND SUBMIT THE NOTICE OF INTENT (NOI) USING REGISTERED MAIL, AND ANY OTHER RELATED NOTICE(S), APPLICATIONS, OR CERTIFICATIONS REQUIRED FOR FULL COMPLIANCE WITH CURRENT APPLICABLE LAWS AND REGULATIONS. CONTRACTOR SHALL PROVIDE COPIES OF ALL REPORTING AND DOCUMENTATION TO OWNER IN A TIMELY MANNER THROUGHOUT CONSTRUCTION.**

19. NO PARKING FOR CONTRACTORS OR SUBCONTRACTORS WILL BE ALLOWED ON PUBLIC STREETS OR RIGHT OF WAY.

20. ALL CUTS IN PAVEMENT AND PAVEMENT EDGES ADJOINING NEW PAVEMENT SHALL BE SAW CUT.

21. ALL PARKING AREAS AND ADA SPACES SHALL BE STRIPED ACCORDING TO MUTCD, ADA AND LOCAL AUTHORITY STANDARDS. ALL PAINT, MATERIALS, AND CONSTRUCTION SHALL CONFORM, AT A MINIMUM, TO GDOT SPECIFICATIONS.

22. CONTRACTOR SHALL COORDINATE WITH AUTHORIZED REPRESENTATIVE FOR OWNER AND CONFIRM AND OBTAIN APPROVAL PTC FOR ALL DAILY CONSTRUCTION ACTIVITIES SCHEDULED AND ANY IMPACT ON REQUIRED OWNER ACTIVITIES, EVENTS, NORMAL OPERATIONS, OR ACCESS WHICH MAY BE AFFECTED IN ANY WAY. DO NOT ALLOW PEDESTRIANS, PUBLIC, VISITORS, OR OTHER UNAUTHORIZED PERSON(S) TO ENTER WORK AREAS. WORK AND STORAGE AREA(S) SHALL BE FENCED [TF] AND SECURE [CA] AT ALL TIMES FOR ALL PHASES OF CONSTRUCTION. FOUL OR OFFENSIVE LANGUAGE, IMPROPER OR REVEALING CLOTHING OR ATTIRE, ALCOHOL, FIREARMS, DRUGS, OR OTHER INAPPROPRIATE BEHAVIOR AS DETERMINED BY OWNER IS STRICTLY PROHIBITED. ANY INTERACTION OR CONTACT WITH STAFF, EMPLOYEES, OR VISITORS IS STRICTLY PROHIBITED AT ALL TIMES. ALL COORDINATION AND COMMUNICATION SHALL BE THROUGH THE DESIGNATED OWNER AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL OWNER REQUIREMENTS, STANDARDS, POLICIES, RULES AND SPECIFICATIONS FOR OWNER'S PROPERTY. **NO PARKING IN THE RIGHT OF WAY IS ALLOWED. ALL CONSTRUCTION TRAFFIC MUST BE COORDINATED WITH [TC] AT ALL TIMES WITH NO INTERRUPTION OF ACCESS FOR OWNER ACTIVITIES OPERATIONS.**

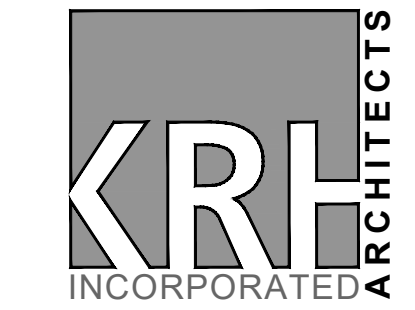
23. DESIGN IS BASED ON SURVEY INFORMATION PROVIDED BY OTHERS. ENGINEER IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS IN ANY INFORMATION PROVIDED BY OTHERS.

PROJECT NUMBER
23-017

DATE
11/20/23

REVISIONS table with columns NO. and DATE

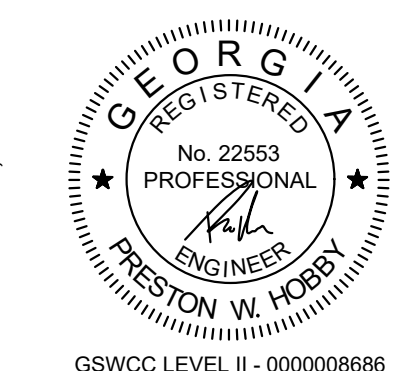
FACILITY CODE



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWH ENGINEERING CIVIL ENGINEERING SITE DEVELOPMENT logo and contact information including address, phone, and a scale bar.

BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721
CITY OF DALTON PARKS AND RECREATION



GSWCC LEVEL II - 0000008688

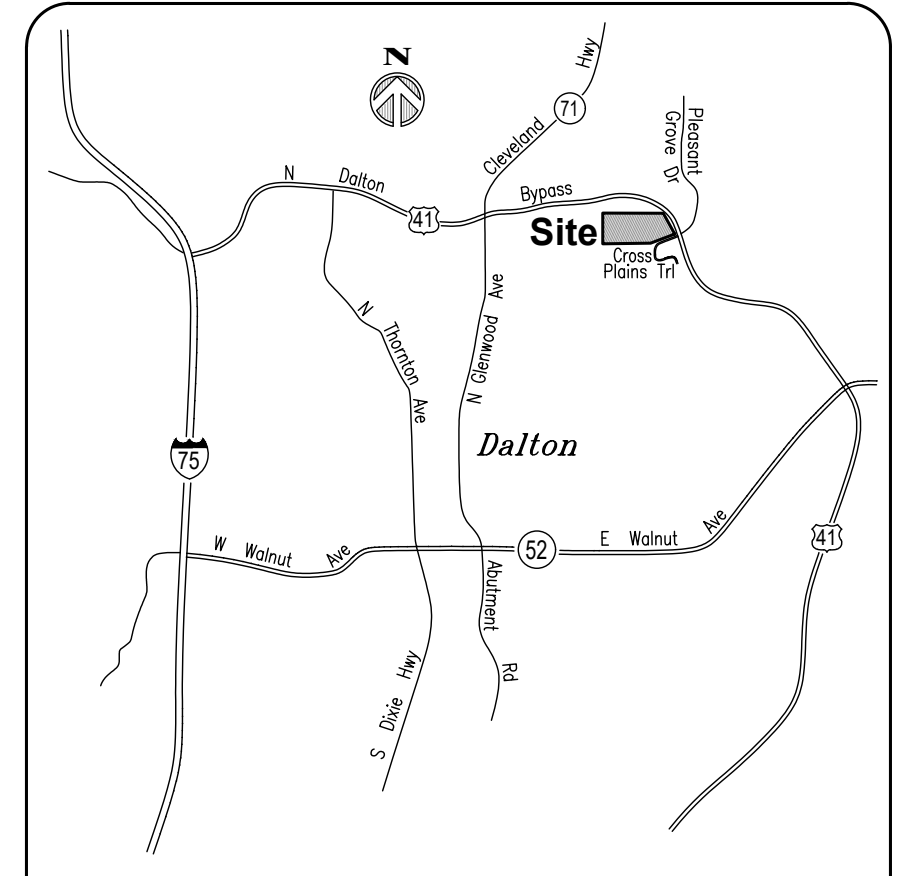
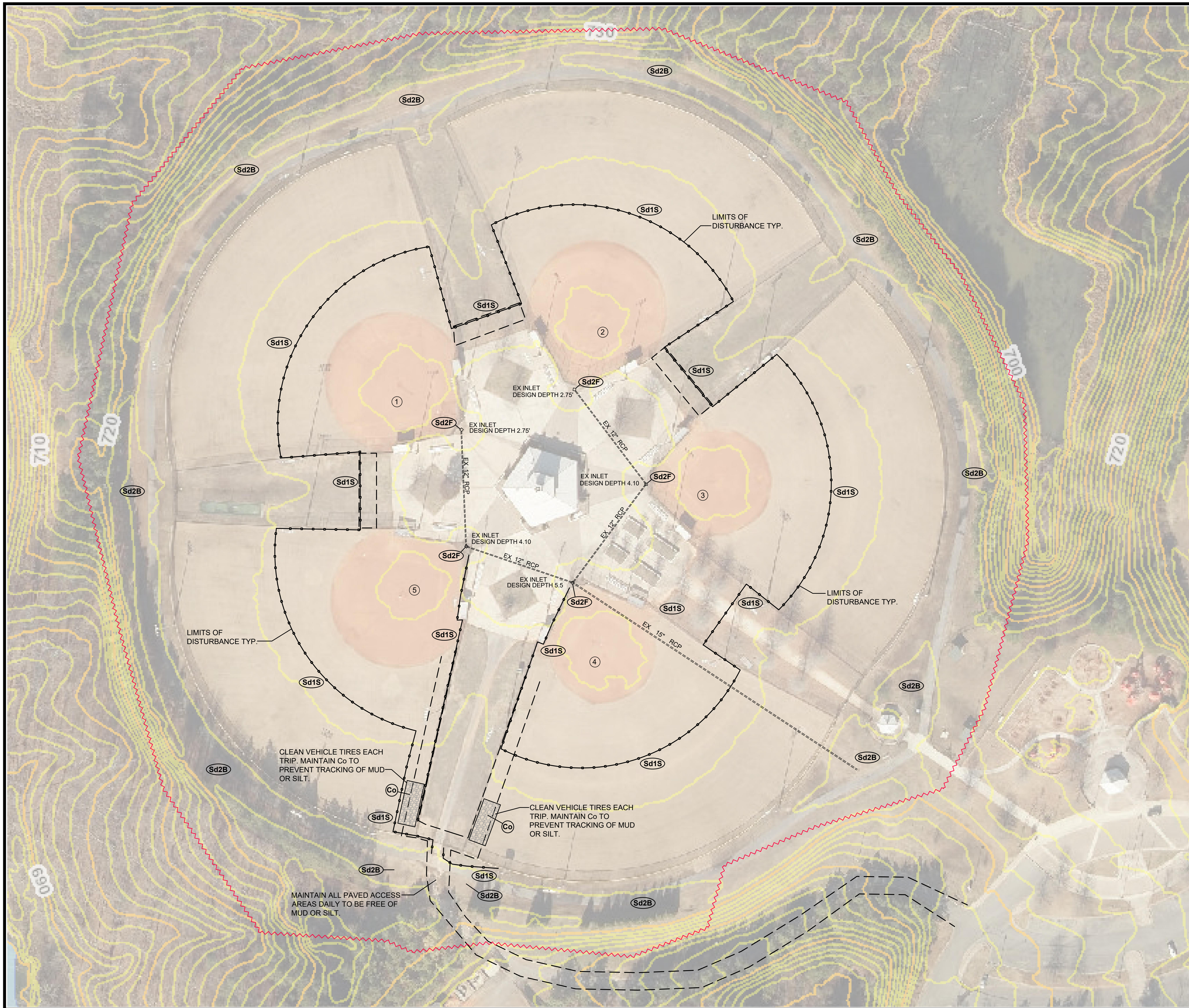
SHEET INDEX

PROJECT NOTES

SHEET INDEX

C2.1

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED



LOCATION MAP

--- EXISTING	+ 70.93 EXISTING SPOT ELEVATION
- - - PROPOSED	• 54.3 PROPOSED SPOT ELEVATION

AC-ACRES	PB-PLAT BOOK
BC-BACK OF CURB	PG-PAGE
BL-BUILDING SETBACK	PL-PROPERTY LINE
CB-CATCH BASIN	POB-POINT OF BEGINNING
CC-CURB & GUTTER	PP-POWER POLE
CH-CHORD	PS-PARKING SPACE
CL-CENTERLINE	PTC-PRIOR TO CONSTRUCTION
CMP-CORR. METAL PIPE	R-RADIUS
DB-DEED BOOK	RCP-REINFORCED CONC. PIPE
DE-DRAINAGE EASEMENT	RD-ROOF DRAIN
DI-DROP INLET	RR-RAILROAD
EP-EDGE PAVEMENT	R/W-RIGHT OF WAY
EX-EXISTING	SD-STORM DRAIN
FH-FIRE HYDRANT	SF-SQUARE FEET
G-GAS LINE	SS-SANITARY SEWER
HW-HEADWALL	SSE-SAN. SEWER EASEMENT
HD-HEAVY DUTY	SSMH-SAN. SEWER MANHOLE
IPP-IRON PIN PLACED	SW-CONCRETE SIDEWALK
IPF-IRON PIN FOUND	TB-THRUST BLOCK
JB-JUNCTION BOX	TBR-TO BE REMOVED
L-ARC LENGTH	TC-TOP OF CURB
LOC-LIMIT OF CLEARING	TELE-TELEPHONE
LP-LIGHT/LAMP POST	TR-TO REMAIN
MH-MANHOLE	TW-TOP OF WALL
N/F-NOW OR FORMERLY	W-WATER
OHP-OVERHEAD POWER	WV-WATER VALVE

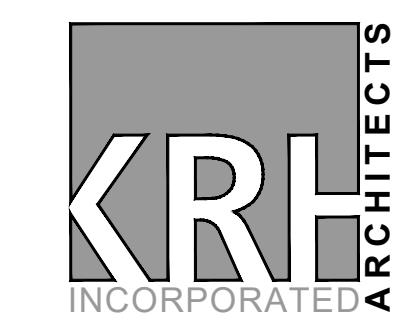
LEGEND

PROJECT NUMBER
23-017

DATE
11/20/23

REVISIONS
NO. DATE

FACILITY CODE



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWR ENGINEERING
CIVIL ENGINEERING
SITE DEVELOPMENT

2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-8190

1275 CROSS PLAINS TRAIL DALTON, GA 30721

ISSUE DATE: 04-10-24
JOB No. 23180 SCALE: 1" = 50'

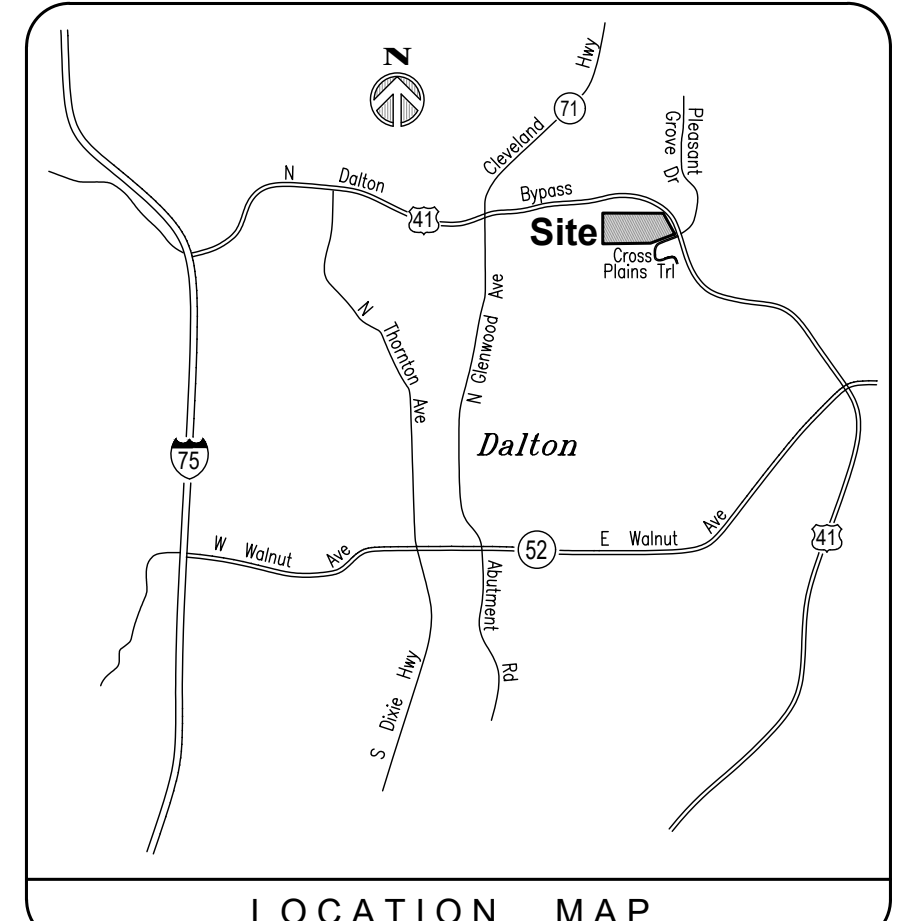
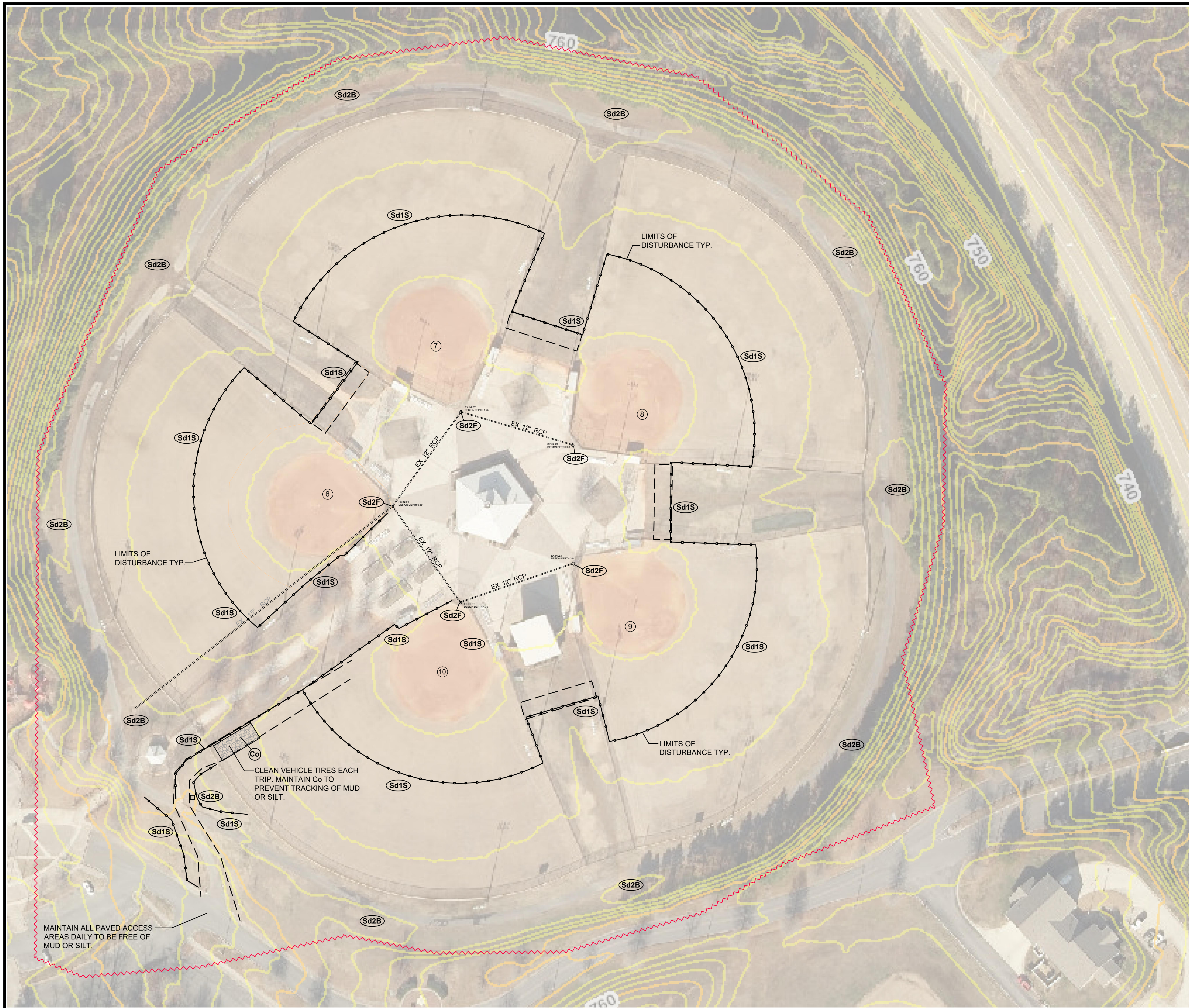
BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721
CITY OF DALTON PARKS AND RECREATION



SHEET INDEX
EROSION CONTROL INITIAL PHASE WEST
SHEET INDEX

C4.3

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED



--- EXISTING
--- PROPOSED

± 70.93 EXISTING SPOT ELEVATION
• 54.3 PROPOSED SPOT ELEVATION

AC-ACRES	PB-PLAT BOOK
BC-BACK OF CURB	PG-PAGE
BL-BUILDING SETBACK	PL-PROPERTY LINE
CB-CATCH BASIN	POB-POINT OF BEGINNING
CC-CURB & GUTTER	PP-POWER POLE
CH-CHORD	PS-PARKING SPACE
CL-CENTERLINE	PTC-PRIOR TO CONSTRUCTION
CMP-CORR. METAL PIPE	R-RADIUS
DB-DEED BOOK	RCP-REINFORCED CONC. PIPE
DE-DRAINAGE EASEMENT	RD-ROOF DRAIN
DI-DROP INLET	RR-RAILROAD
EP-EDGE PAVEMENT	R/W-RIGHT OF WAY
EX-EXISTING	SD-STORM DRAIN
FG-GAS LINE	SF-SQUARE FEET
FW-HEADWALL	SS-SANITARY SEWER
HD-HEAVY DUTY	SSE-SAN. SEWER EASEMENT
IPP-IRON PIN PLACED	SSMH-SAN. SEWER MANHOLE
IRP-IRON PIN FOUND	SW-CONCRETE SIDEWALK
JB-JUNCTION BOX	TB-THRUST BLOCK
L-ARC LENGTH	TBR-TO BE REMOVED
LOC-LIMIT OF CLEARING	TC-TOP OF CURB
LP-LIGHT/LAMP POST	TELE-TELEPHONE
MH-MANHOLE	TR-TO REMAIN
N/F-NOW OR FORMERLY	TW-TOP OF WALL
OHP-OVERHEAD POWER	W-WATER
	WV-WATER VALVE

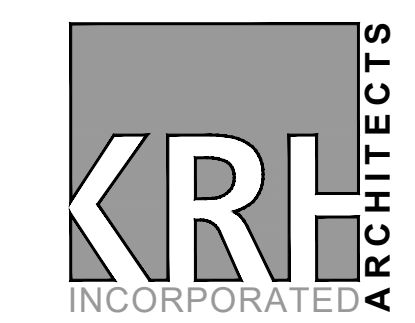
LEGEND

PROJECT NUMBER
23-017

DATE
11/20/23

REVISIONS
NO. DATE

FACILITY CODE



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWR ENGINEERING
CIVIL ENGINEERING
SITE DEVELOPMENT

2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-8190

1275 CROSS PLAINS TRAIL DALTON, GA 30721

ISSUE DATE: 04-10-24
JOB NO. 23180 SCALE: 1" = 50'

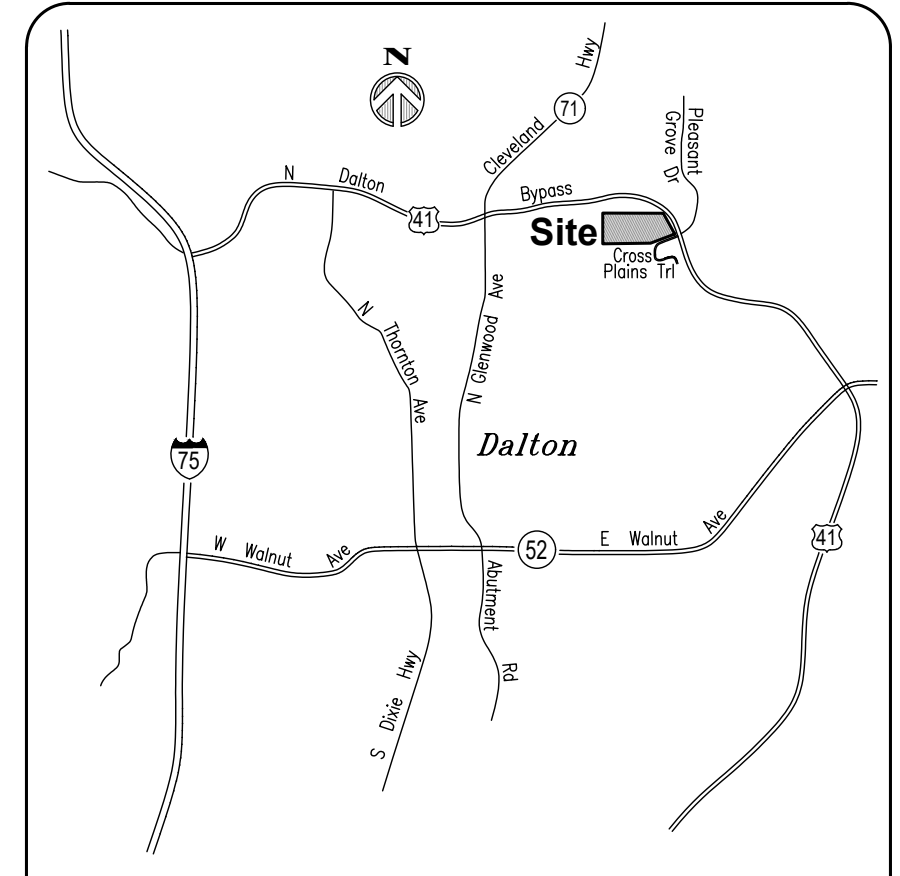
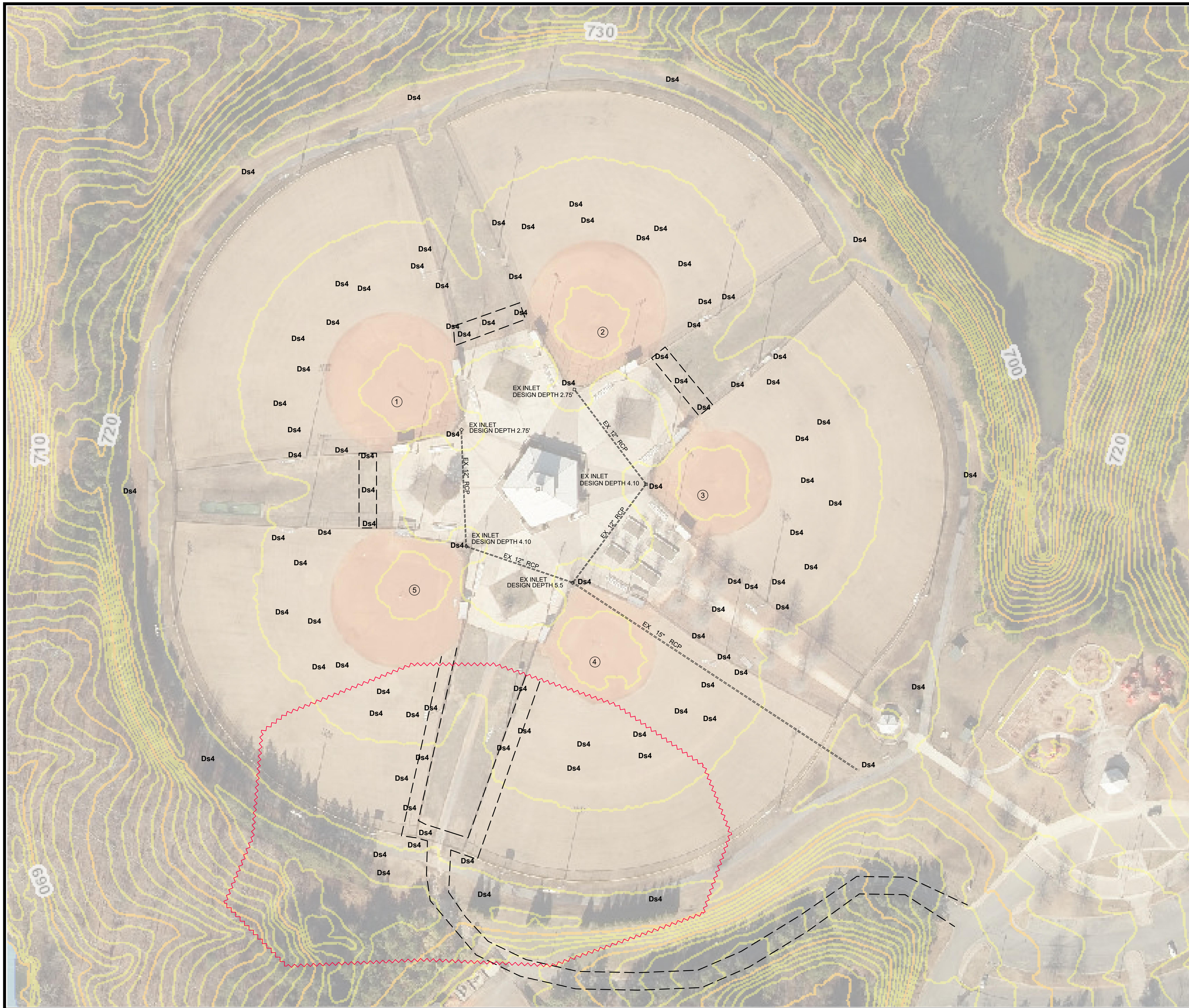
BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721
CITY OF DALTON PARKS AND RECREATION



SHEET INDEX
EROSION CONTROL
INITIAL
PHASE EAST
SHEET INDEX

C4.4

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED



LOCATION MAP

EXISTING	+ 70.93 EXISTING SPOT ELEVATION
--- PROPOSED	• 54.3 PROPOSED SPOT ELEVATION

AC-ACRES	PB-PLAT BOOK
BC-BACK OF CURB	PG-PAGE
BL-BUILDING SETBACK	PL-PROPERTY LINE
CB-CATCH BASIN	POB-POINT OF BEGINNING
CC-CURB & GUTTER	PP-POWER POLE
CH-CHORD	PS-PARKING SPACE
CL-CENTERLINE	PTC-PRIOR TO CONSTRUCTION
CMP-CORR. METAL PIPE	R-RADIUS
DB-DEED BOOK	RCP-REINFORCED CONC. PIPE
DE-DRAINAGE EASEMENT	RD-ROOF DRAIN
DI-DROP INLET	RR-RAILROAD
EP-EDGE PAVEMENT	R/W-RIGHT OF WAY
EX-EXISTING	SD-STORM DRAIN
FH-FIRE HYDRANT	SF-SQUARE FEET
G-GAS LINE	SS-SANITARY SEWER
HW-HEADWALL	SSE-SAN. SEWER EASEMENT
HD-HEAVY DUTY	SSMH-SAN. SEWER MANHOLE
IPP-IRON PIN PLACED	SW-CONCRETE SIDEWALK
IPF-IRON PIN FOUND	TB-THRUST BLOCK
JB-JUNCTION BOX	TBR-TO BE REMOVED
L-ARC LENGTH	TC-TOP OF CURB
LOC-LIMIT OF CLEARING	TELE-TELEPHONE
LP-LIGHT/LAMP POST	TR-TO REMAIN
MH-MANHOLE	TW-TOP OF WALL
N/F-NOW OR FORMERLY	W-WATER
OHP-OVERHEAD POWER	WW-WATER VALVE

LEGEND

LANDSCAPING NOTES:

- CONTRACTOR SHALL PROVIDE PROFESSIONAL LANDSCAPE CONTRACTOR EXPERIENCED IN LANDSCAPING, GRASS, SOD, AND LAWN INSTALLATION. LANDSCAPER MUST BE APPROVED BY OWNER AND ENGINEER. SEE SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL RECEIVE GRASS SOD PER SPECIFICATIONS. VERIFY SOD TYPE AND SPECIES WITH OWNER PRIOR TO CONSTRUCTION. ALL SOD SHALL HAVE MINIMUM 1.0 INCHES SOIL AND ROOT ZONE CERTIFIED BY MANUFACTURER, PROVIDE DOCUMENTATION TO OWNER. SOD SHALL BE ANCHORED ON SLOPES GREATER THAN 6H:1V. ALL SLOPES SHALL HAVE MATTING AND BLANKETS (Mb) AND ANCHORED MULCH, AND PERMANENT GRASS ESTABLISHED IMMEDIATELY AFTER SLOPE IS CREATED. MATTING AND BLANKETS SHALL BE TEMPORARY TYPE MADE FROM ORGANIC MATERIAL.
- ALL SLOPES SHALL BE TEMPORARILY STABILIZED WITH MULCH AND TEMPORARY SEEDING AS REQUIRED UNTIL FINAL STABILIZATION. CONTRACTOR SHALL ESTABLISH PERMANENT GRASS ON SLOPES AS SOON AS GRADE IS ESTABLISHED.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PLANTING DATES FOR GRASS SPECIES SPECIFIED. CONTRACTOR SHALL SCHEDULE CONSTRUCTION, GRADING, AND GRASSING TO ACHIEVE AND ESTABLISH PERMANENT GRASS A MINIMUM OF 60 DAYS PRIOR TO FINAL RELEASE. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL GRASS/SOD PER SPECIFICATIONS.
- ALL TEMPORARY GRASS OR GRASS MIXTURES USED FOR TEMPORARY STABILIZER SHALL BE FULLY AND COMPLETELY TILLED UNDER AND REMOVED PRIOR TO INSTALLATION OF PERMANENT GRASS. CONTRACTOR IS RESPONSIBLE FOR COMPLETE PREPARATION AND SOIL AMENDMENTS ON ALL SUCH AREAS PER SPECIFICATIONS.
- GRASSED AREAS WHICH DO NOT GROW OR MEET SPECIFICATIONS SHALL BE REMOVED IMMEDIATELY AND RE-INSTALLED.
- ALL AREAS NOT RECEIVING PREPARATION, SOIL AMENDMENTS, TOPSOIL, FERTILIZER, AND OTHER MEASURES PER SPECIFICATIONS AND REQUIRED SOILS TEST(S) WILL BE REJECTED.
- MAINTENANCE OF ALL GRASS AND LANDSCAPED AREAS WILL INCLUDE TRIMMING, WEEDING AND WEED REMOVAL. CONTRACTOR SHALL APPLY WEED CONTROL AND FERTILIZER AS RECOMMENDED BY SOILS TEST(S) OR REFERENCED STANDARDS THROUGHOUT CONSTRUCTION AND MAINTENANCE PERIOD.
- CONTRACTOR SHALL PROVIDE MAINTENANCE, MOWING, WATERING, WEEDING, AND PROTECTION OF ALL GRASS, SOD, AND LANDSCAPED AREAS THROUGHOUT CONSTRUCTION AND PER SPECIFICATIONS UNTIL FINAL RELEASE BY OWNER.

PROJECT NUMBER
23-017

DATE
11/20/23

REVISIONS
NO. DATE

FACILITY CODE



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWR ENGINEERING
CIVIL ENGINEERING
SITE DEVELOPMENT

2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-8190

1275 CROSS PLAINS TRAIL DALTON, GA 30721

ISSUE DATE: 04-10-24
JOB NO. 23180 SCALE: 1" = 50'

BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721
CITY OF DALTON PARKS AND RECREATION

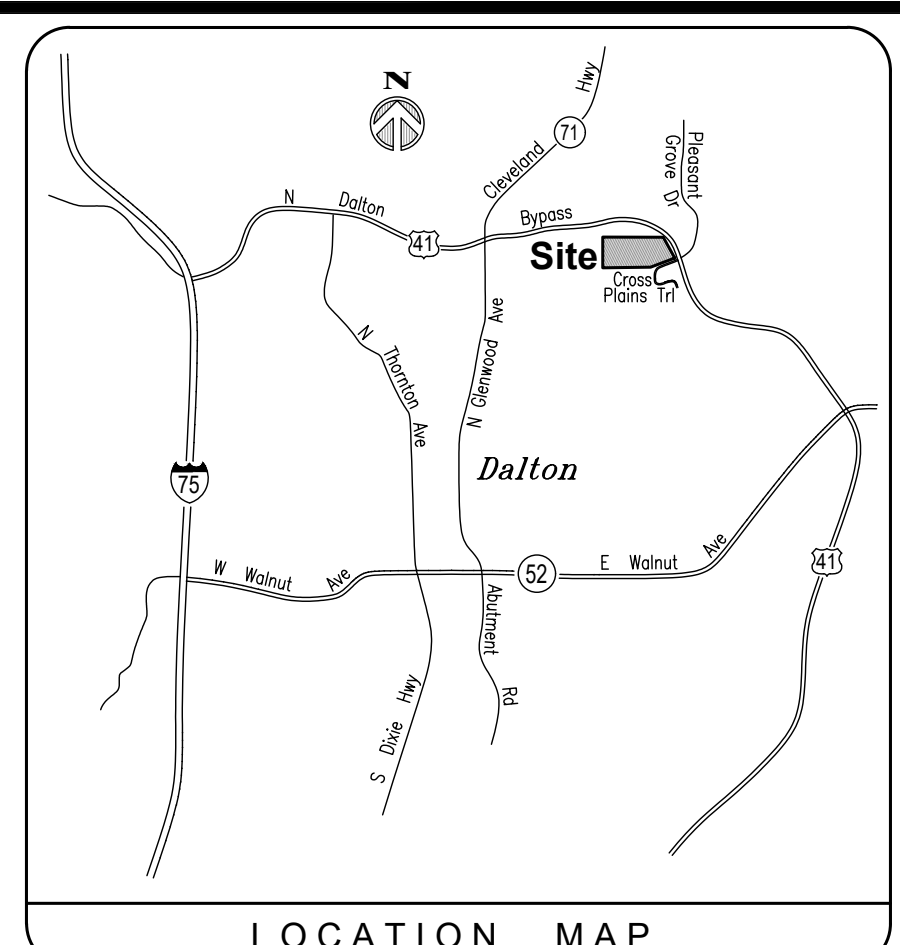
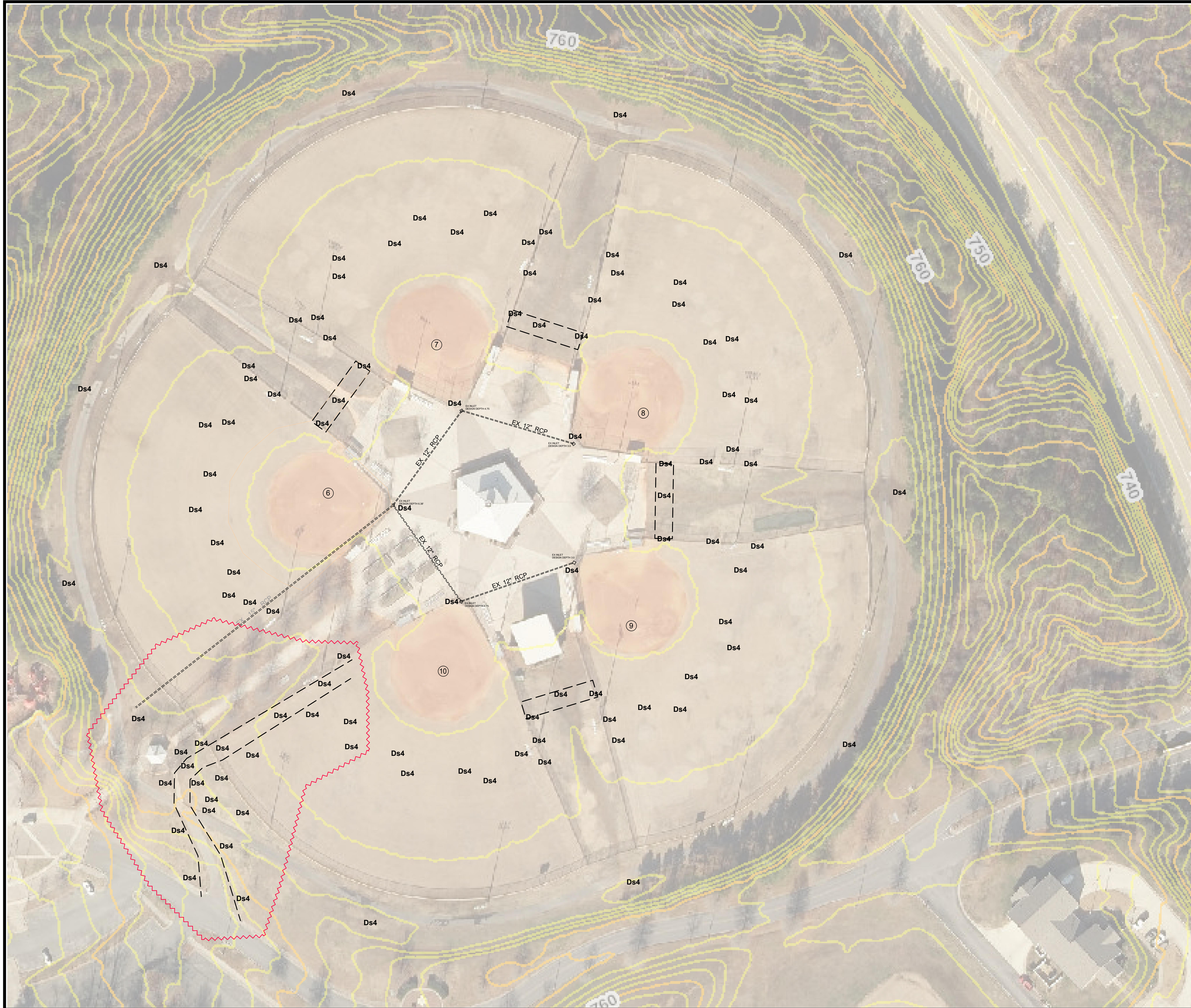


GSWCC LEVEL II - 0000008688

SHEET INDEX
EROSION CONTROL
FINAL
PHASE WEST
SHEET INDEX

C4.5

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED



--- EXISTING
--- PROPOSED

• 70.93 EXISTING SPOT ELEVATION
• 54.3 PROPOSED SPOT ELEVATION

AC-ACRES	PB-PLAT BOOK
BC-BACK OF CURB	PG-PAGE
BL-BUILDING SETBACK	PL-PROPERTY LINE
CB-CATCH BASIN	POB-POINT OF BEGINNING
CC-CURB & GUTTER	PP-POWER POLE
CH-CHORD	PS-PARKING SPACE
CL-CENTERLINE	PTC-PRIOR TO CONSTRUCTION
CMP-CORR. METAL PIPE	R-RADIUS
DB-DEED BOOK	RCP-REINFORCED CONC. PIPE
DE-DRAINAGE EASEMENT	RD-ROOF DRAIN
DI-DROP INLET	RR-RAILROAD
EP-EDGE PAVEMENT	R/W-RIGHT OF WAY
EX-EXISTING	SD-STORM DRAIN
FH-FIRE HYDRANT	SF-SQUARE FEET
G-GAS LINE	SS-SANITARY SEWER
HW-HEADWALL	SSE-SAN. SEWER EASEMENT
HD-HEAVY DUTY	SSMH-SAN. SEWER MANHOLE
IPP-IRON PIN PLACED	SW-CONCRETE SIDEWALK
IPF-IRON PIN FOUND	TB-THRUST BLOCK
JB-JUNCTION BOX	TBR-TO BE REMOVED
L-ARC LENGTH	TC-TOP OF CURB
LOC-LIMIT OF CLEARING	TELE-TELEPHONE
LP-LIGHT/LAMP POST	TR-TO REMAIN
MH-MANHOLE	TW-TOP OF WALL
N/F-NOW OR FORMERLY	W-WATER
OHP-OVERHEAD POWER	WV-WATER VALVE

LEGEND

LANDSCAPING NOTES:

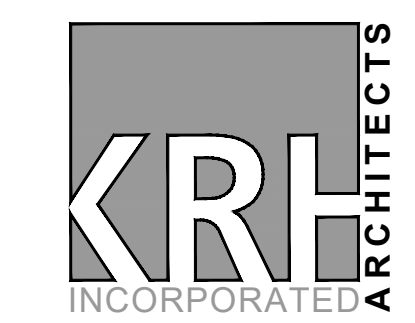
1. CONTRACTOR SHALL PROVIDE PROFESSIONAL LANDSCAPE CONTRACTOR EXPERIENCED IN LANDSCAPING, GRASS, SOD, AND LAWN INSTALLATION. LANDSCAPER MUST BE APPROVED BY OWNER AND ENGINEER. SEE SPECIFICATIONS.
2. ALL DISTURBED AREAS SHALL RECEIVE GRASS SOD PER SPECIFICATIONS. VERIFY SOD TYPE AND SPECIES WITH OWNER PRIOR TO CONSTRUCTION. ALL SOD SHALL HAVE MINIMUM 1.0 INCHES SOIL AND ROOT ZONE CERTIFIED BY MANUFACTURER, PROVIDE DOCUMENTATION TO OWNER. SOD SHALL BE ANCHORED ON SLOPES GREATER THAN 6H:1V. ALL SLOPES SHALL HAVE MATTING AND BLANKETS (Mb) AND ANCHORED MULCH, AND PERMANENT GRASS ESTABLISHED IMMEDIATELY AFTER SLOPE IS CREATED. MATTING AND BLANKETS SHALL BE TEMPORARY TYPE MADE FROM ORGANIC MATERIAL.
3. ALL SLOPES SHALL BE TEMPORARILY STABILIZED WITH MULCH AND TEMPORARY SEEDING AS REQUIRED UNTIL FINAL STABILIZATION. CONTRACTOR SHALL ESTABLISH PERMANENT GRASS ON SLOPES AS SOON AS GRADE IS ESTABLISHED.
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR PLANTING DATES FOR GRASS SPECIES SPECIFIED. CONTRACTOR SHALL SCHEDULE CONSTRUCTION, GRADING, AND GRASSING TO ACHIEVE AND ESTABLISH PERMANENT GRASS A MINIMUM OF 60 DAYS PRIOR TO FINAL RELEASE. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL GRASS/SOD PER SPECIFICATIONS.
5. ALL TEMPORARY GRASS OR GRASS MIXTURES USED FOR TEMPORARY STABILIZATION SHALL BE FULLY AND COMPLETELY TILLED UNDER AND REMOVED PRIOR TO INSTALLATION OF PERMANENT GRASS. CONTRACTOR IS RESPONSIBLE FOR COMPLETE PREPARATION AND SOIL AMENDMENTS ON ALL SUCH AREAS PER SPECIFICATIONS.
6. GRASSSED AREAS WHICH DO NOT GROW OR MEET SPECIFICATIONS SHALL BE REMOVED IMMEDIATELY AND RE-INSTALLED.
7. ALL AREAS NOT RECEIVING PREPARATION, SOIL AMENDMENTS, TOPSOIL, FERTILIZER, AND OTHER MEASURES PER SPECIFICATIONS AND REQUIRED SOILS TEST(S) WILL BE REJECTED.
8. MAINTENANCE OF ALL GRASS AND LANDSCAPED AREAS WILL INCLUDE TRIMMING, WEEDING AND WEED REMOVAL. CONTRACTOR SHALL APPLY WEED CONTROL AND FERTILIZER AS RECOMMENDED BY SOILS TEST(S) OR REFERENCED STANDARDS THROUGHOUT CONSTRUCTION AND MAINTENANCE PERIOD.
9. CONTRACTOR SHALL PROVIDE MAINTENANCE, MOWING, WATERING, WEEDING, AND PROTECTION OF ALL GRASS, SOD, AND LANDSCAPED AREAS THROUGHOUT CONSTRUCTION AND PER SPECIFICATIONS UNTIL FINAL RELEASE BY OWNER.

PROJECT NUMBER
23-017

DATE
11/20/23

REVISIONS
NO. DATE

FACILITY CODE



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWR ENGINEERING
CIVIL ENGINEERING
SITE DEVELOPMENT

2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-8190

1275 CROSS PLAINS TRAIL DALTON, GA 30721

ISSUE DATE: 04-10-24
JOB No. 23180 SCALE: 1" = 50'

**BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721
CITY OF DALTON PARKS AND RECREATION**



SHEET INDEX
EROSION CONTROL
FINAL
PHASE EAST
SHEET INDEX

C4.6

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED

ADVANEDGE® PIPE

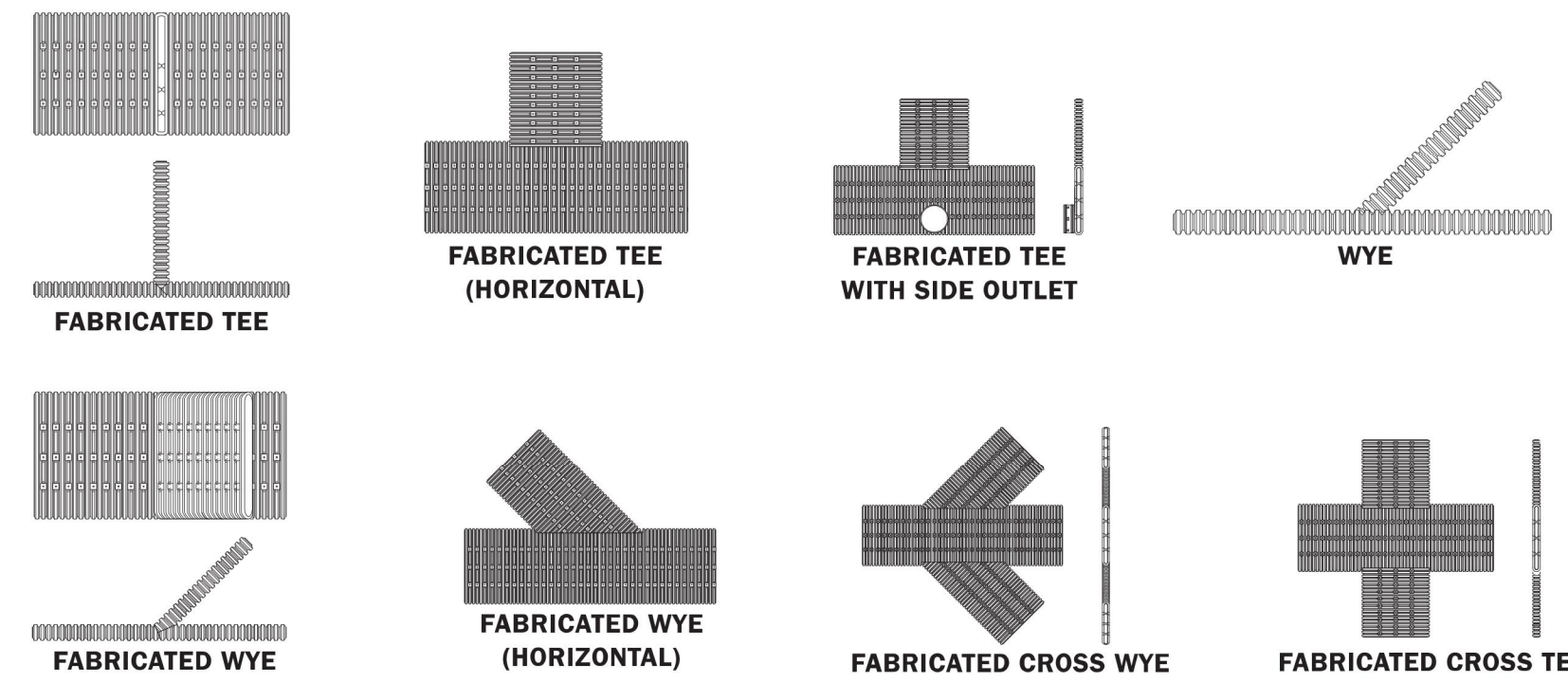
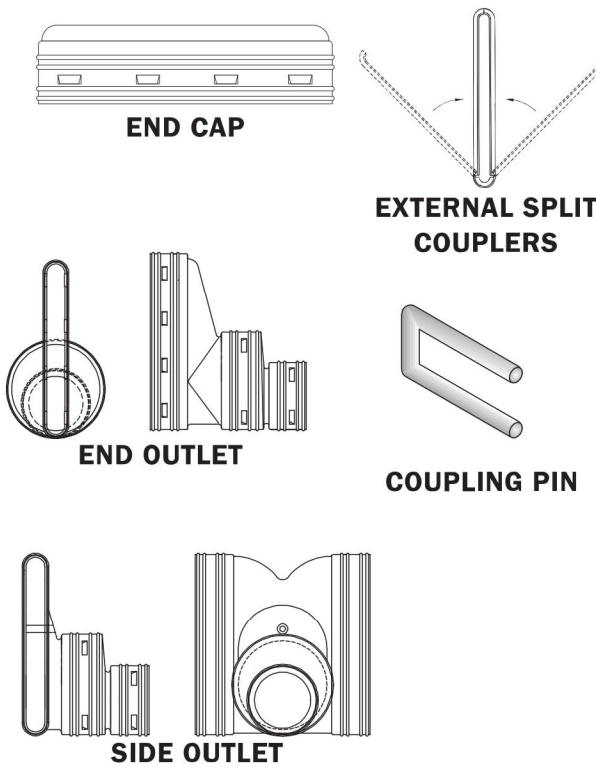
ADVANEDGE PIPE

DIAMETER	LENGTH	DESCRIPTION	PRODUCT CODE
12" (300mm)	100' (30.5m)	No Fabric	04900100
12" (300mm)	100' (30.5m)	4.0 oz. Spunbond	04930100



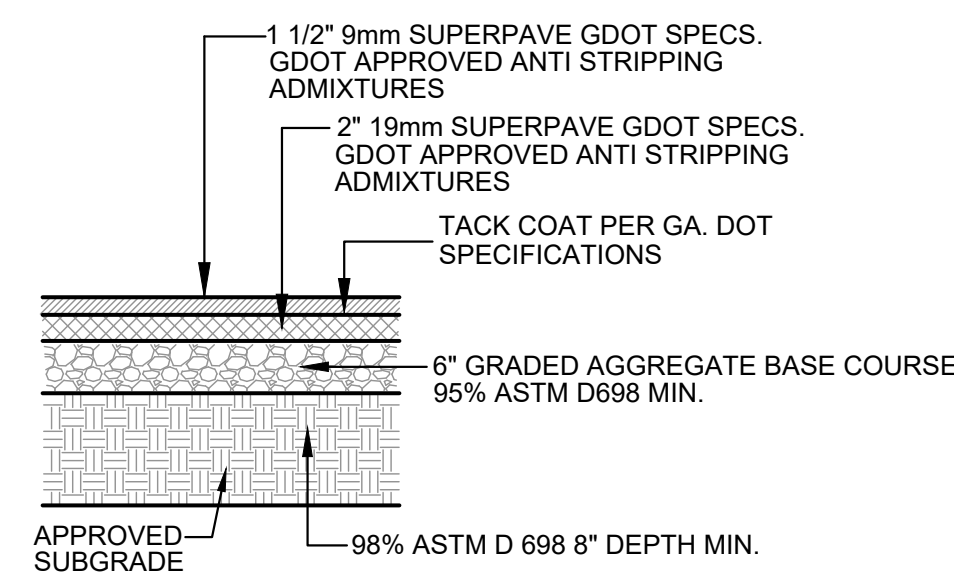
ADVANEDGE FITTINGS

PIPE SIZE	FITTING	PRODUCT CODE
12" (300mm)	Snap End Cap	1432AA
12" (300mm)	External Split Coupler	1411AA
12" (300mm)	Wye	1480AA
12" (300mm)	Coupling Pin (2/pk)	0840MB
12" (300mm)	End Outlet	1472AA
12" (300mm)	Side Outlet	1471AA
12" (300mm)	Fabricated Tee	1460AN
12" (300mm)	Fabricated Tee (Horizontal)	1460ANH
12" (300mm)	Fabricated Tee with Side Outlet	1464ANH
12" (300mm)	Fabricated Cross Tee (Horizontal)	1436ANH
12" (300mm)	Fabricated Wye	1480AN
12" (300mm)	Fabricated Wye (Horizontal)	1480ANH
12" (300mm)	Fabricated Cross Wye	1438ANH

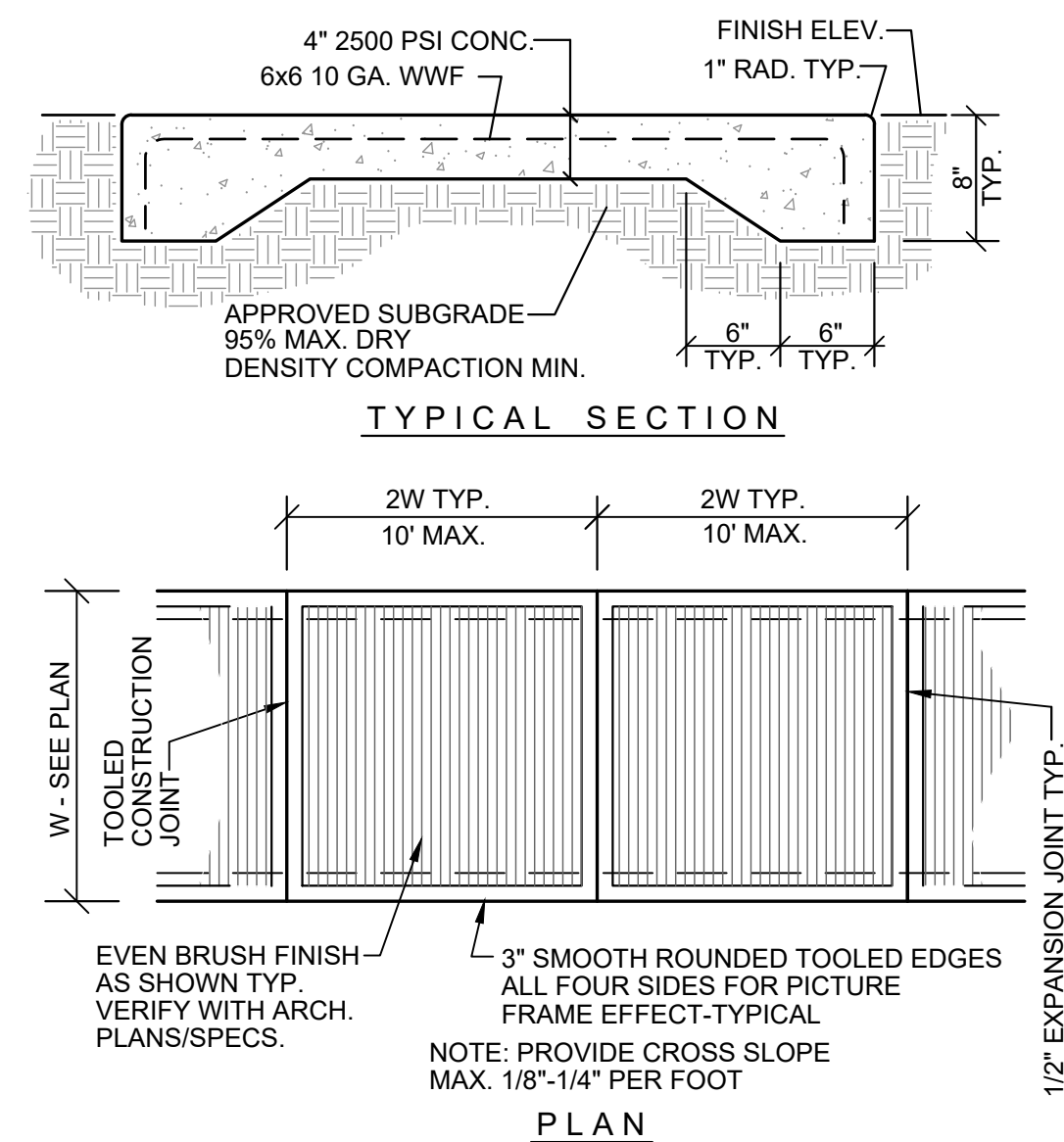


PROVIDE COMPLETE SUBMITTAL FOR APPROVAL PRIOR TO PURCHASE

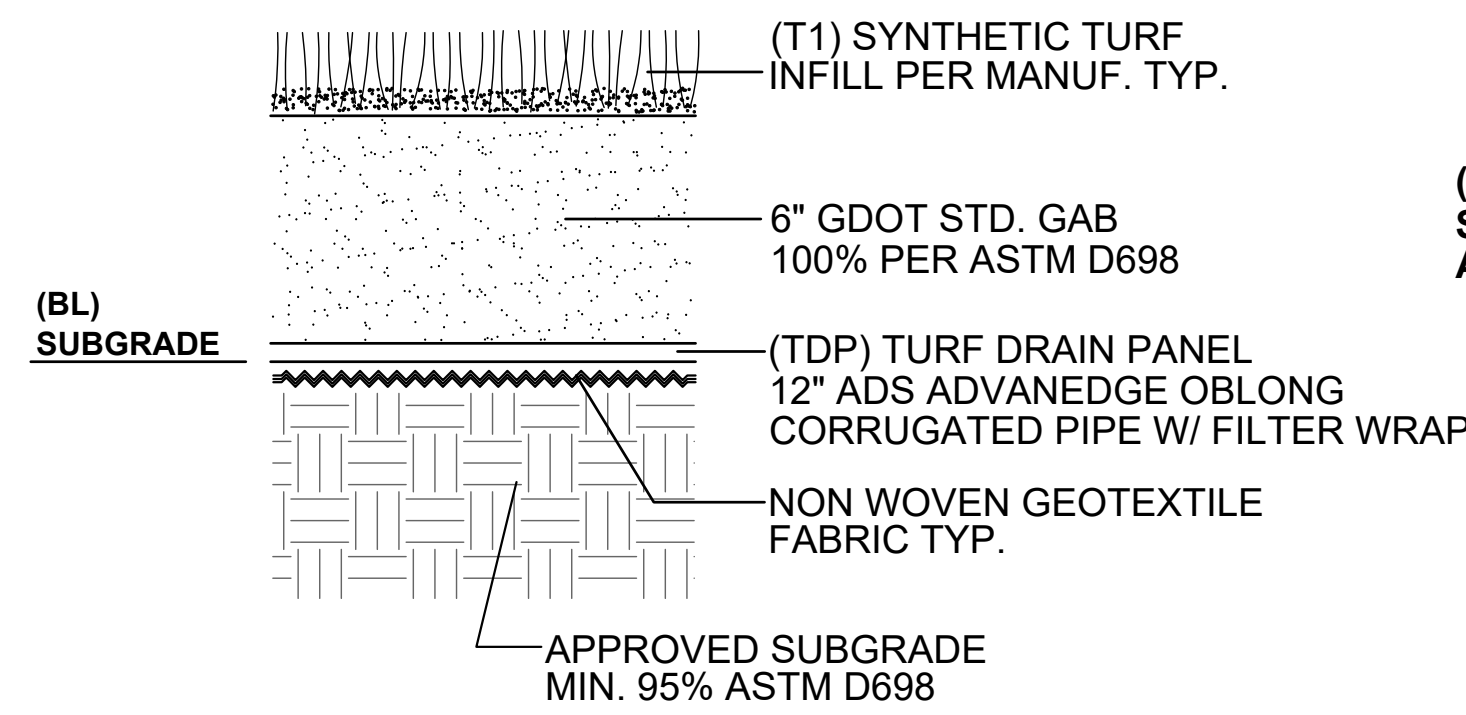
(TPD) ADVANEDGE DRAIN PIPE



(AP1) ASPHALT PAVEMENT

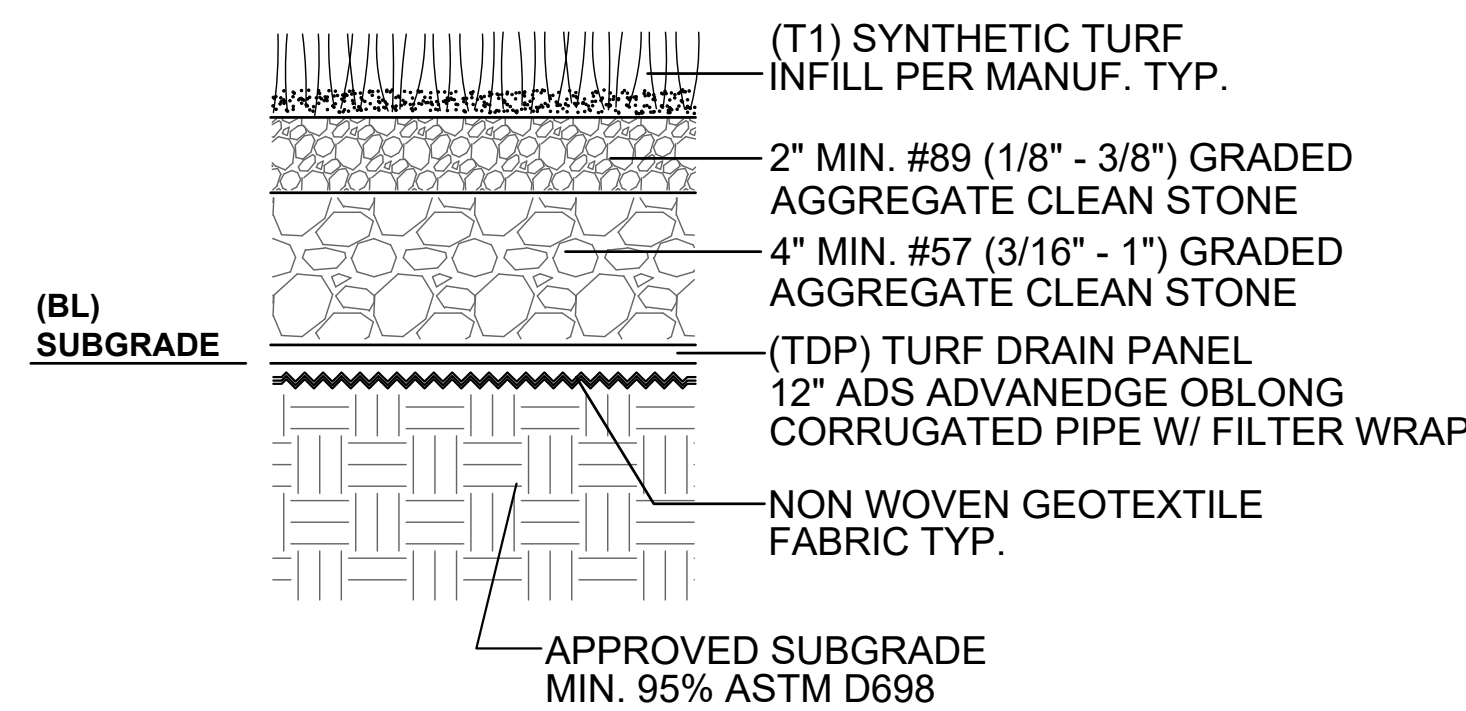


(SW) SIDEWALK DETAILS



(T1A) ALTERNATE SYNTHETIC TURF SECTION

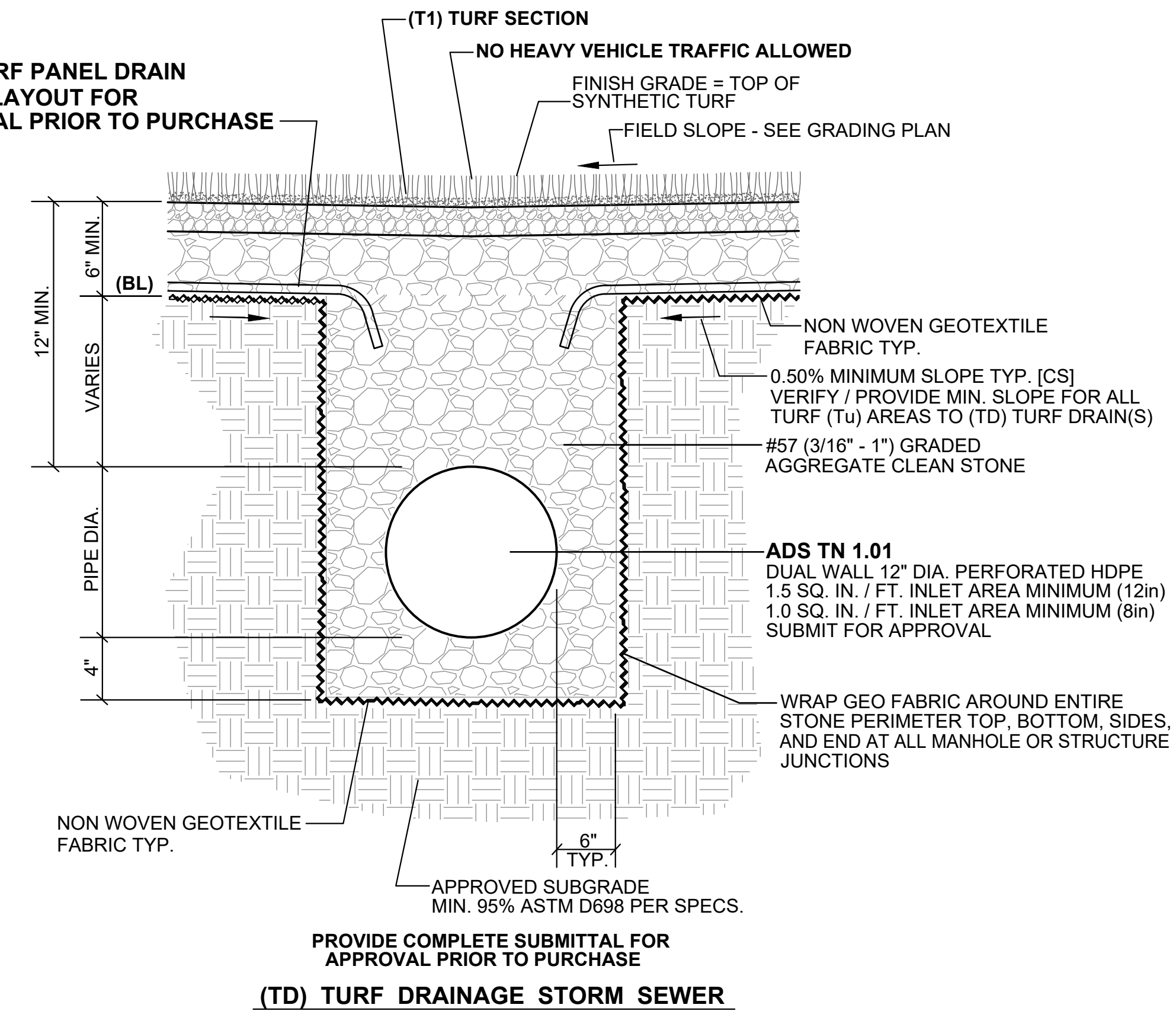
INSTALL UNDER SOFTBALL PITCHER'S MOUND, BATTER'S BOXES, AND 8' X 8' AREA AT FIRST AND 3RD BASE. VERIFY EXACT LOCATIONS PRIOR TO CONSTRUCTION.



(T1) TYPICAL SYNTHETIC TURF SECTION

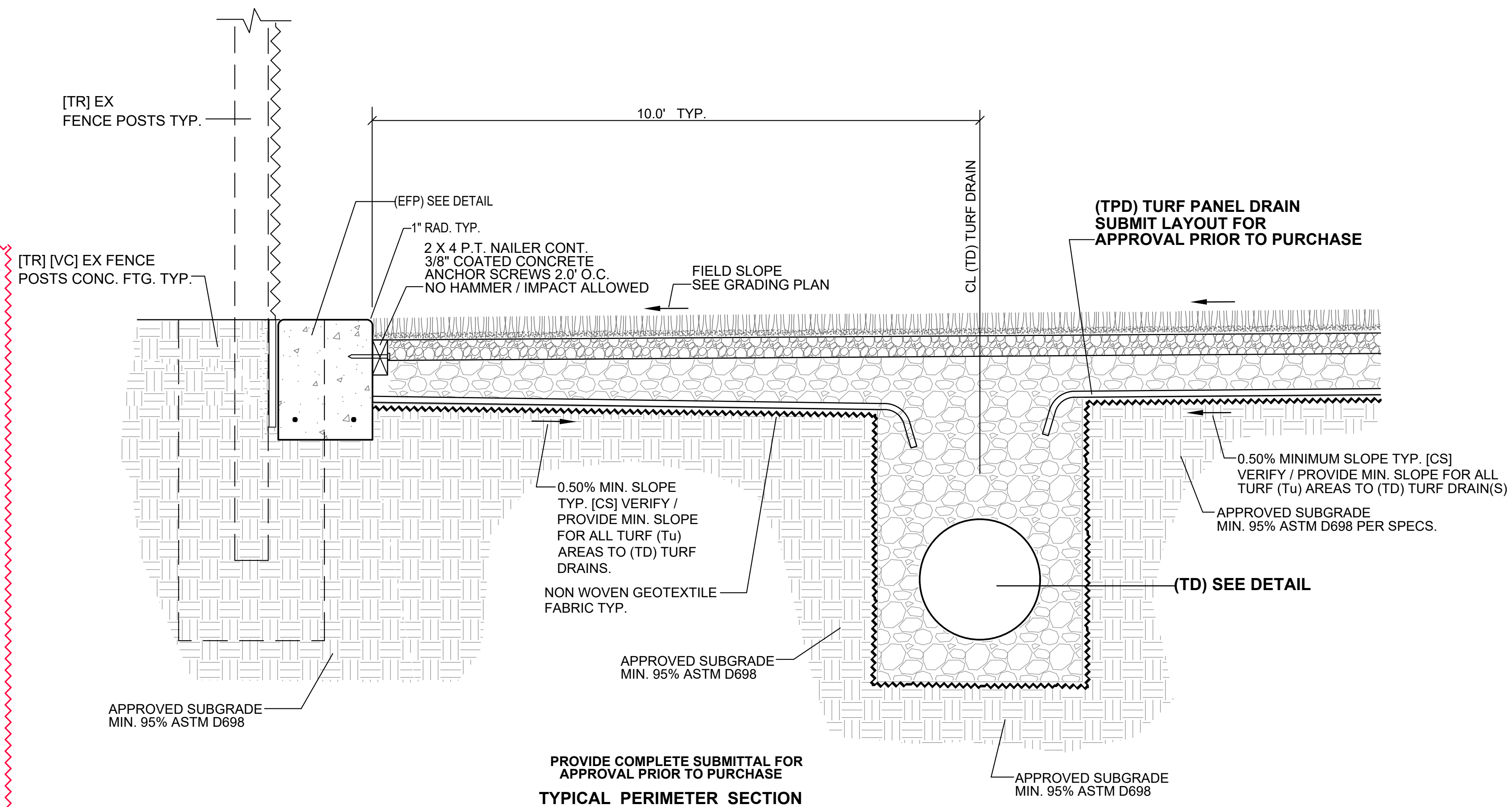
PROVIDE COMPLETE SUBMITTAL FOR APPROVAL PRIOR TO PURCHASE

(TPD) TURF PANEL DRAIN
SUBMIT LAYOUT FOR APPROVAL PRIOR TO PURCHASE

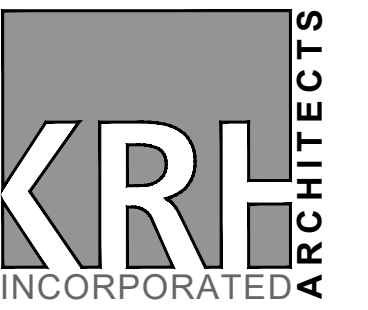


(TD) TURF DRAINAGE STORM SEWER

PROVIDE COMPLETE SUBMITTAL FOR APPROVAL PRIOR TO PURCHASE



TYPICAL PERIMETER SECTION



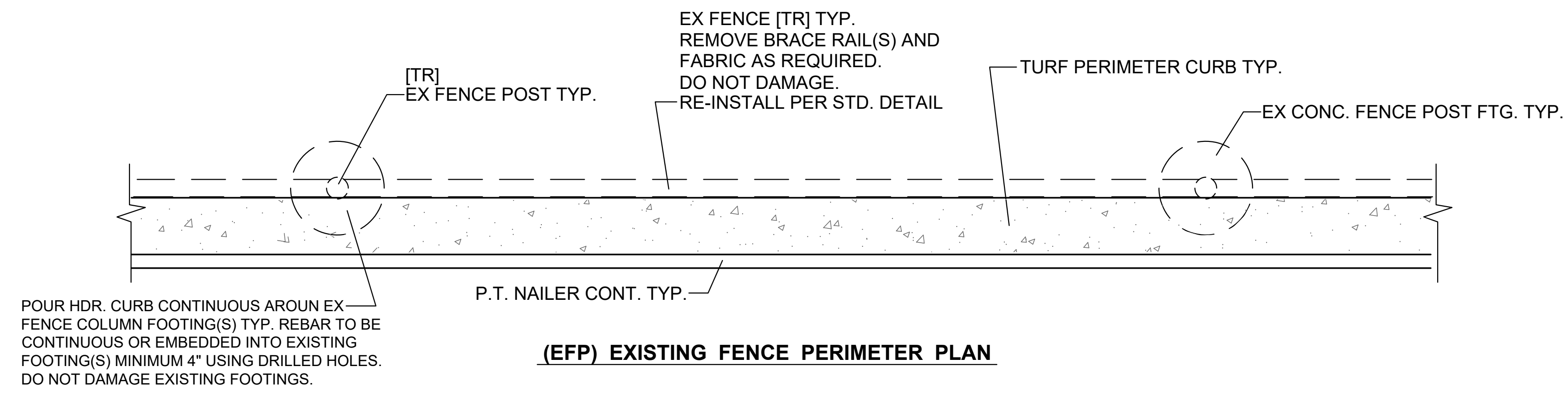
855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWR ENGINEERING
CIVIL ENGINEERING
SITE DEVELOPMENT
2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-8190
1275 CROSS PLAINS TRAIL DALTON, GA 30721
ISSUE DATE: 04-10-24
JOB No. 23180 SCALE: 1" = 50'

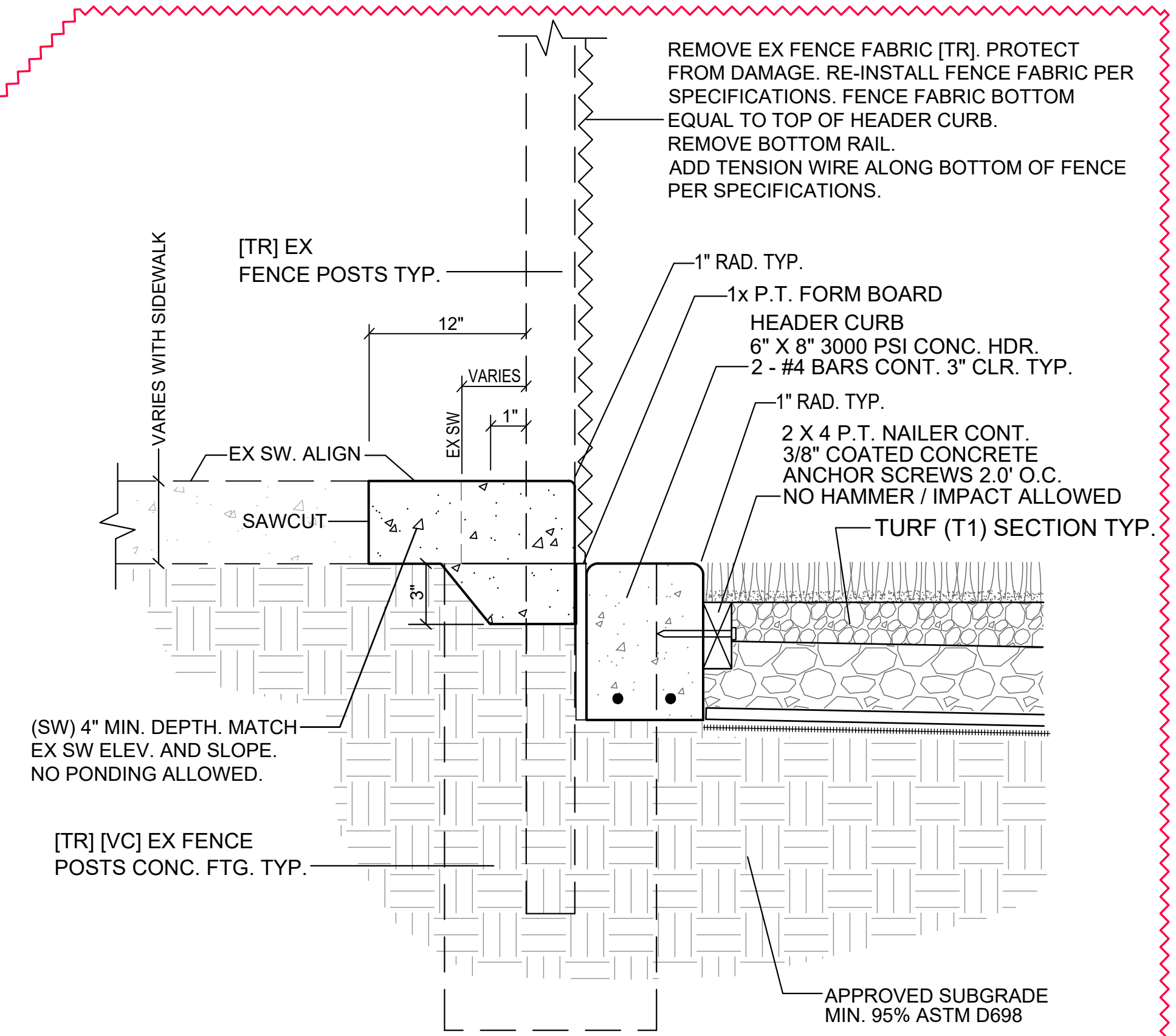
BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721
CITY OF DALTON PARKS AND RECREATION



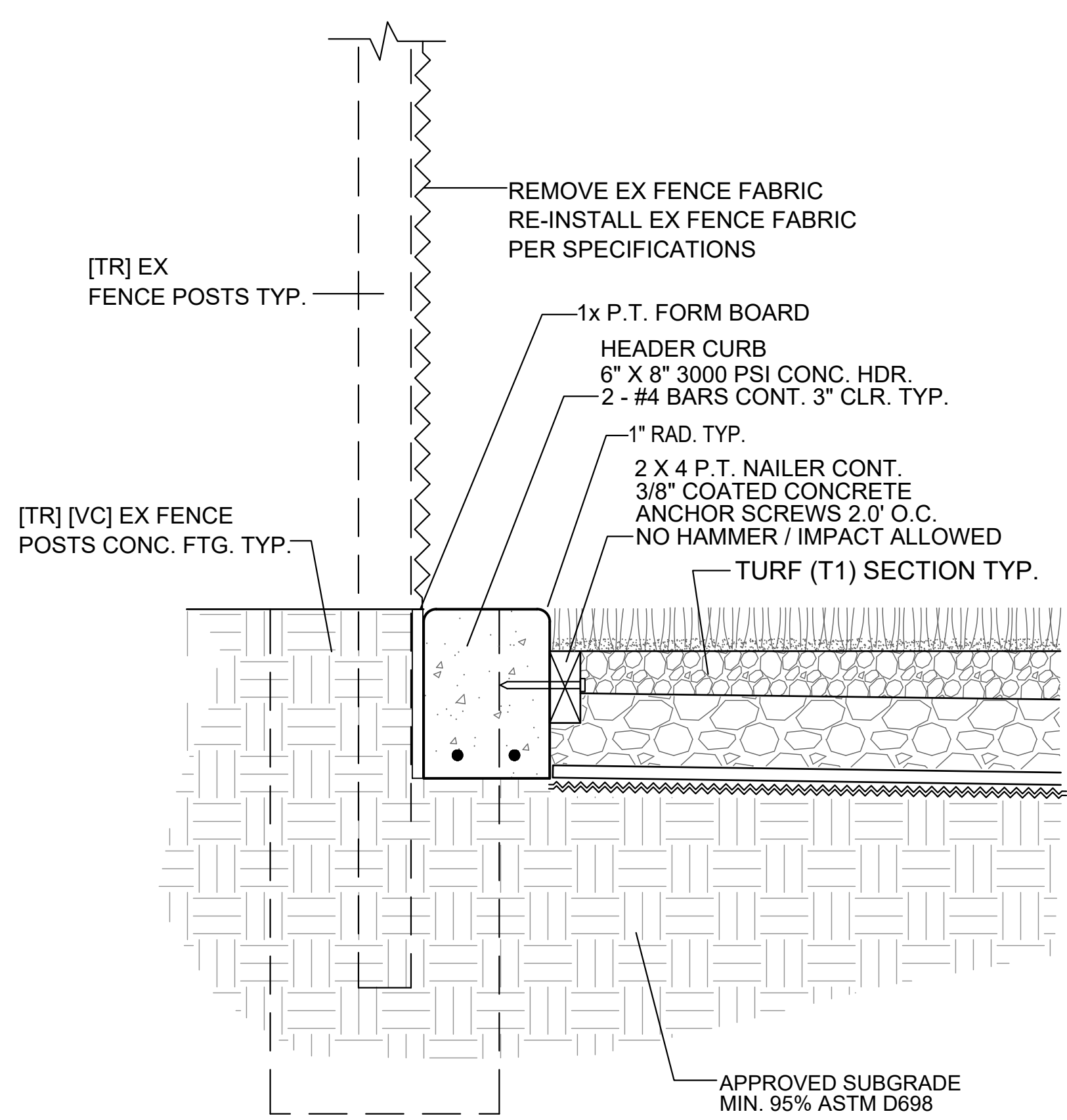
THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED



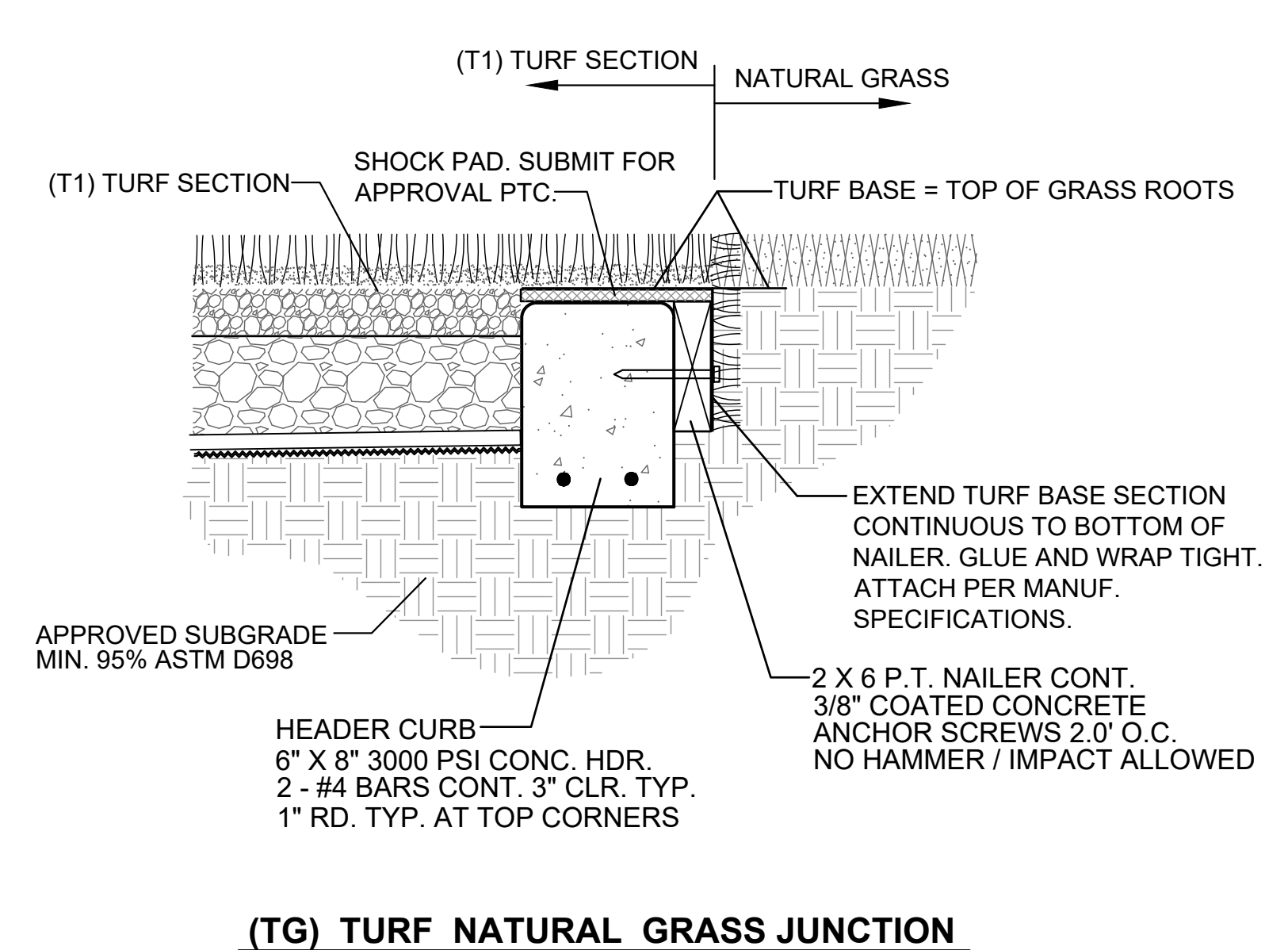
(EFP) EXISTING FENCE PERIMETER PLAN



(EFP) EXISTING FENCE PERIMETER SECTION AT SIDEWALK



(EFP) EXISTING FENCE PERIMETER SECTION



(TG) TURF NATURAL GRASS JUNCTION

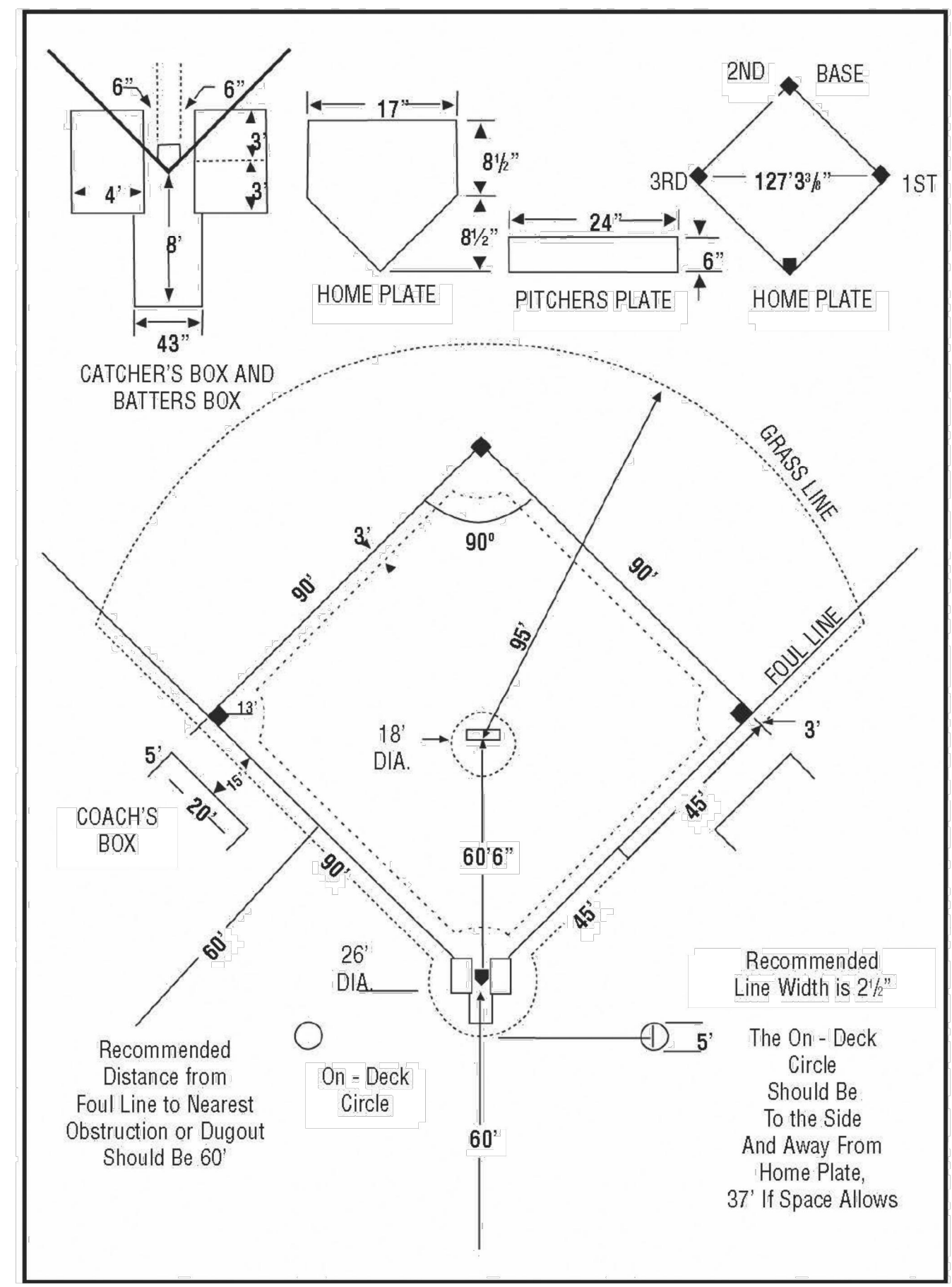
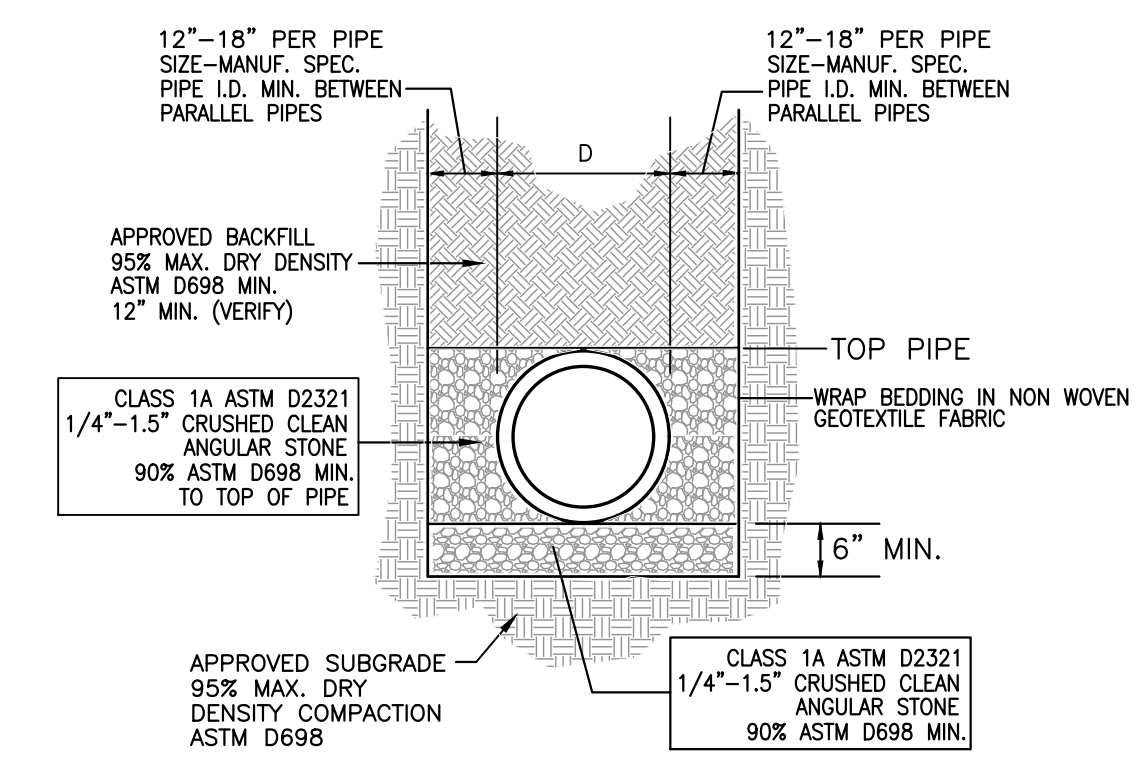


Diagram 2
Official Measurements . . . for laying out baseball field

PROVIDE DETAILED LAYOUT FOR APPROVAL PRIOR TO FABRICATION FOR ALL COLORS, LINES, AND ALL REQUIRED STRIPING PER NFHS. BATTERS BOX MUST BE VERIFIED AS PER SOFTBALL DETAIL OR BASEBALL DETAIL OR BOTH.

(B1) BASEBALL FIELD



CLASS "B1" - HDPE PIPE ONLY
COMPACTED GRANULAR BEDDING

- NOTES:**
1. GEOTECH ENGINEER MUST DOCUMENT AND CERTIFY ALL EARTHWORK, SUBGRADE, BACKFILL, AND MATERIALS.
 2. COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR BEDDING.
 3. ALL PIPE SHALL BE INSPECTED AFTER BEDDING IS ONE-HALF PIPE DIAMETER THICKNESS AND PRIOR TO BACKFILL OVER PIPE. COORDINATE WITH OWNER'S REPRESENTATIVE. DOCUMENT WITH DIGITAL IMAGES.
 4. DETAILS SHOWN ARE BASED ON SUITABLE SUBGRADE. WET, SPONGY OR SOFT SOILS, OR OTHER DEFECTS IN SUBGRADE SOIL WILL REQUIRE SPECIFIC DESIGN ON INDIVIDUAL BASIS. CONTRACTOR IS RESPONSIBLE FOR SUITABILITY OF SOILS SELECTED FOR ALL FILL MATERIAL.
 5. PIPE GALVANIES AND STRUCTURAL SPECIFICATIONS SHALL CONFORM TO GEORGIA D.O.T. STANDARDS FOR PIPE CULVERTS 1030D AND MANUFACTURER SPECIFICATIONS.
 6. BLOCKING WILL NOT BE PERMITTED.
 7. ALL JOINTS, GASKETS, AND HARDWARE SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION AND PROVIDE PERMANENT WATERTIGHT SEALS.
 8. DO NOT PLACE PIPE ON INCOMPRESSIBLE MATERIAL OR ROCK. EXCAVATE TO MINIMUM DEPTHS SHOWN.

PIPE BEDDING DETAILS



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

PWR ENGINEERING
CIVIL ENGINEERING
SITE DEVELOPMENT

2900 DELA ROAD STE 700 #218 • MARIETTA, GA 30067 • PH: 770-433-6190

1275 CROSS PLAINS TRAIL DALTON, GA 30721

ISSUE DATE: 04-10-24
JOB No. 23180 SCALE: 1" = 50'

BASEBALL & SOFTBALL TURF INFIELDS FOR:
HERITAGE POINT REGIONAL PARK
1275 CROSS PLAINS TRAIL DALTON, GA 30721
CITY OF DALTON PARKS AND RECREATION



THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED

